

MEMORANDUM

TO: CHAIRMAN AND MEMBERS OF THE PLANNING COMMISSION

FROM: DIRECTOR OF PLANNING, BUILDING AND CODE ENFORCEMENT

DATE: SEPTEMBER 23, 2008

SUBJECT: ST. JOHN FISHER CHURCH CONDITIONAL USE PERMIT #96 – REVISION “D”, GRADING PERMIT, MINOR EXCEPTION PERMIT AND SIGN PERMIT(CASE NO. ZON2007-00492); PROJECT ADDRESS: 5448 CREST ROAD

Staff Coordinator: Leza Mikhail, Associate Planner 

RECOMMENDATION

- 1) Review the revised design and additional information provided by the applicant to determine whether the modifications and additional information address the Commission’s concerns with the proposed project, review and comment on the attached Draft Conditions of Approval and close the public hearing; and
- 2) If the Commission’s concerns have been addressed, then certify the Mitigated Negative Declaration (MND) and direct Staff to bring back the appropriate Resolution and Mitigation Monitoring Program for formal adoption at the October 14, 2008 Planning Commission meeting; and
- 3) If the Commission’s concerns have been addressed, then conditionally approve the St. John Fisher Master Plan project, including CUP #96 – Revision “D,” Grading Permit, Minor Exception Permit and Sign Permit Case No. ZON2007-00492 and direct Staff to bring back the appropriate Resolution for adoption at the October 14, 2008 Planning Commission meeting.

BACKGROUND

On June 24, 2008, the Planning Commission considered the above-referenced case for the proposed St. John Fisher Master Plan project. Staff’s recommendation at that time was to review the proposed project and direct the applicant to modify the design of the proposed sanctuary by reducing the height of the steeple and continue the hearing to the July 22, 2008 Planning Commission meeting. As noted in the previous analysis (June 24, 2008

Staff Report attached), Staff supported the applicant's request for a Sign Permit, Grading Permit and Minor Exception Permit, however felt that the mandatory findings for the Conditional Use Permit could only be made provided that the height of the steeple on the proposed sanctuary was reduced.

After hearing the public testimony and discussing the various aspects of the project, the Planning Commission identified concerns with the height of the proposed sanctuary steeple and requested clarification on additional aspects of the project. More specifically, the Commission requested clarification on a) the methodology used to determine the number of provided parking spaces, and b) clarification from the City Attorney regarding any limitations the Planning Commission may have for restrictions on sounding bells. After identifying these concerns, the Planning Commission agreed to continue the public hearing to July 22, 2008. The approved Minutes of the June 24, 2008 meeting are attached.

On July 22, 2008, the Planning Commission reviewed the revised sanctuary design and location which included the following: 1) a reduction in height of the proposed steeple by 14'-0", 2) an overall reduction in height of the sanctuary by up to 6'-0", 3) elimination of the stepped roof lines along the south side of the sanctuary, 4) a reduction in the footprint of the sanctuary from 18,400 square feet to 17,000 square feet, 5) the addition of a 900 square foot basement beneath the sanctuary to accommodate mechanical equipment, 6) an increase in the Crest Road street side yard setback from 48'-0" to 62'-0", 7) an increase in the Crenshaw Boulevard street side yard setback from 40'-0" to 57'-0", and 8) a reduction in the footprint of the administrative building from 8,968 square feet to 7,488 square feet.

After reviewing the modifications to the proposed sanctuary and hearing public testimony, the Planning Commission requested that the applicant consider providing the following additional information for review by the Commission: 1) a sound study to determine if any significant impacts would result from the proposed bells, 2) a shadow study to determine if the height and/or scale of the sanctuary would create any significant impacts to surrounding properties, 3) a copy of St. John Fisher's historic parking counts, 4) further clarification from the applicant on the parking analysis, and 5) consideration from the applicant to create a joint use parking agreement with the adjacent property (Daughters of Mary and Joseph) to provide additional parking on high peak days. After identifying these concerns, the Planning Commission agreed to continue the public hearing to September 23, 2008 to allow the applicant sufficient time to meet the Commissions requests. The approved Minutes of the July 22, 2008 meeting are attached.

DISCUSSION

In response to the concerns identified at the July 22, 2008 Planning Commission meeting, the applicant submitted a sound study, a shadow study, and supplemental parking data. Subsequently, Staff sent an update through the listserv feature on the City's website noting that the noise study and shadow study were received and are available for viewing at the Planning Department or online through the City's website. Below, Staff has provided a discussion of the additional information that was submitted by the applicant. The respective studies and supplemental parking information are attached at the end of this report.

Sound Study (Carillon Bells)

As noted in previous Staff Reports (attached), the City does not have a noise ordinance establishing a maximum decibel level for any specified activity, use or source of sound. As there is a lack of any codified sound regulations, the applicant did not identify a decibel level for the proposed carillon bells. Given the concerns raised by neighbors regarding the expected noise levels of the bells, the applicant contracted with a professional engineer to perform a focused carillon sound study. Although the existing property does not currently have carillon bells onsite for the purpose of conducting the study, the applicant simulated the sound of the proposed carillon bells. The applicant also proposes to play the sound of the proposed bells at the public hearing. The purpose of the sound study (attached) is to evaluate the potential impact of the carillon bells sound level upon surrounding land uses.

The applicant hired Dudek, a consulting firm, to conduct the noise study. The noise study was performed by simulating the location, height and direction of the proposed speakers for the carillon bells and monitoring the decibel levels at seven locations on or around the St. John Fisher property. The applicant's noise study determined that the carillon bells sound levels will be 50 decibels or less at the nearest sensitive receptor locations (just outside the closest residential properties), as noted on page 5 of the noise study. The applicant's consultant concluded that the noise impacts from the proposed carillon bells are considered less than significant.

To ensure that the noise impacts from carillon bells are less than significant and minimized to surrounding neighbors, Staff is recommending multiple conditions of approval related to the bells. Furthermore, Staff is proposing that the bells be subject to a 2-month review, after which effectiveness of the conditions will be re-visited by the Planning Commission. The proposed Conditions of Approval (Draft Conditions of Approval attached) are noted below:

- ⇒ Speakers for the carillon bells shall face the interior of the lot and shall not directly face any adjacent residential properties.
- ⇒ Speakers for the carillon bells shall not exceed a maximum height of 16'-0", as measured from grade, adjacent to the location of the bells on the sanctuary.
- ⇒ Speakers for the carillon bells shall be setback a minimum of 110'-5" from any property line, as noted on the project plans.
- ⇒ Chiming of the bells shall be limited to the following days and times:
 - Monday through Saturday at 8:00 AM, 12:00 PM, and 6:00 PM; and
 - Sunday at 8:50 AM, 10:35 AM, 12:00 PM, 12:20 PM, 4:50 PM and 6:00 PM; and
 - Christmas; and

- Easter; and
 - the following 4 Holy Holidays: 1) Christmas (December 24), 2) Assumption (August 15), 3) All Saints Day (November 1), and 4) Feast of Immaculate Conception (December 8).
- ⇒ The carillon bells shall not chime for more than a period of 60 seconds at each allotted time.
- ⇒ In no case, shall the carillon bells be chimed before 7 am or after 7 pm.
- ⇒ No later than two (2) months after installation of the carillon bells, the Planning Commission shall review the impacts of the carillon bells to assess the effectiveness of the Conditions of Approval in minimizing the impacts of the bells to neighboring properties. To address this concern, the applicant will be required to submit a Trust Deposit to cover the cost of a City-Approved Noise Consultant to measure the decibel rating of the carillon bells and prepare a report that will be presented to the Planning Commission. At that time, the Planning Commission may add, delete or modify any of the respective conditions of approval or may prohibit the use of bells if the Commission determines that the imposed conditions are not effective in minimizing sound effects to neighbors. Said modifications shall not result in substantial changes to the design of the sanctuary or other ancillary structures. Notice of said review hearing shall be published and provided to owners of property within a 500-foot radius of the subject site, to persons requesting a notice, to all affected homeowner associations and to the property owner in accordance with the RPVMC. The Planning Commission may require such subsequent additional reviews, as the Planning Commission deems appropriate.

In response to the strong concerns expressed by neighbors regarding the proposed bells, Staff believes that imposing multiple conditions of approval that restrict the placement, frequency and sound direction of the carillon bells would reduce the impact of the bell sound so that the bells would not result in a significant adverse effect on adjacent property.

Shadow Study (Sanctuary Design and Location)

As noted in the June 24, 2008 Staff Report (attached), Staff was originally not able to make finding #3 or #4 of the Conditional Use Permit findings based on Staff's concern with the overall height of the proposed steeple. Finding #3 states, "*In approving the subject use at the specific location, there will be no significant adverse effect on adjacent property or the permitted use thereof.*" Finding #4 states, "*The proposed use is not contrary to the General Plan.*" At the time, Staff noted that the abovementioned findings could be made if the applicant reduced the overall height of the steeple portion of the sanctuary. Additionally, at the June 24, 2008 public hearing, the Planning Commission agreed with Staff's concerns and directed the applicant to consider a reduction in the height of the sanctuary.

In order to address the concerns of the Commission, Staff and the public, the applicant redesigned the sanctuary with the following modifications:

- 1) A reduction in height of the proposed steeple by 14'-0", resulting in a maximum height of 60'-0" to the top of the steeple and 74'-0" to the top of the cross, and
- 2) A reduction in the overall height of the sanctuary structure by up to 6'-0", and
- 3) Elimination of stepped roof lines along the south side of the sanctuary to reduce the overall appearance of the steeple from neighboring properties, and
- 4) Reduction the footprint of the sanctuary by 1,400 square feet, from 18,400 square feet to 17,000 square feet, and
- 6) Increased the north street side yard setback along Crest Road from 48'-0" to 62'-0", and
- 7) Increased the west street side yard setback along Crenshaw Boulevard from 40'-0" to 57'-0", and
- 8) Reduced the footprint of the administrative building by 1,488 square feet, from 8,968 square feet to 7,488 square feet, to accommodate the relocation of the proposed sanctuary.

As recommended by the Planning Commission at the July 22, 2008 public hearing, the applicant conducted a shadow study to provide further evidence that the revised sanctuary would not result in significant adverse effects to surrounding properties. The shadow study was conducted by Dudek, a professional planning consulting firm hired by the applicant. The study (attached) focuses on the effects of shadows that would be cast at varying times of the year by on-site structures towards off-site areas. The study concludes that the longest shadows would be cast by the proposed steeple during the Winter Solstice (December 21-22) and, while the extent of said shadow would encroach onto the public street, the shadow would not impact surrounding properties.

Therefore, Staff is of the opinion that the applicant has adequately addressed the concerns originally identified in the June 24, 2008 Staff report which recommended a reduction in the height of the sanctuary steeple. This is because in conjunction with reducing the steeple height by 14'-0", the applicant also reduced the overall height of the sanctuary structure by up to 6 feet and significantly increased the street-side setbacks to further mitigate the impacts of the proposed steeple. In addition, through a shadow study, the applicant has provided further evidence that the proposed sanctuary will not cast shadows on adjacent properties. Furthermore, the applicant now intends to leave many of the existing mature trees along the west side of the property in place and plant new trees at the corner of Crest and Crenshaw to soften the view of the sanctuary building from the street. As a result of these circumstances, Staff believes that the proposed sanctuary building would not result in significant adverse effects on adjacent properties. Notwithstanding Staff's position, numerous residents still have some concerns with the size and height of the building and the Planning Commission itself raised a number of concerns with the building. Therefore, Staff is recommending that the Planning Commission determine whether the project, as conditionally proposed, adequately addresses the previous Planning Commission concerns.

Parking

As noted in previous Staff Reports, if the City's parking requirements were strictly applied to all individual uses within the proposed master plan, the applicant would be required to provide 657 parking spaces. The St. John Fisher Master Plan will have two main operating functions: 1) the primary function of an elementary school that operates Monday through Friday and 2) a sanctuary with multiple masses conducted on Saturdays and Sundays and intermittent small masses throughout the week. In addition to the two primary operating functions of the St. John Fisher property, outside organized groups utilize the St. John Fisher facilities after school hours to conduct meetings during week nights.

Due to the fact that Staff is aware that all uses on the property would not function concurrently and thus all 657 code-required parking spaces would not be utilized at the same time, Staff required the applicant to prepare a parking analysis that describes the operating facilities on the property throughout a typical week. The analysis found that Sundays between 10:00 AM and 12:00 PM generate the highest parking demand under the assumption that the sanctuary is filled to capacity (870 seats, with a code requirement for 290 parking spaces) and religious education classes occur simultaneously. These classes, by themselves, require 38 parking spaces and the rectory (single-family residence) requires 3 parking spaces. Together, the parking analysis concluded that this worst case scenario generates a parking demand of 331 parking spaces. Thus, a total of 331 parking spaces is being provided to accommodate this worst case parking scenario. As noted in the July 22, 2008 Staff Report, the City has used this approach with other commercial and/or institutional mixed-use properties throughout the City and this parking analysis has been reviewed and approved by the City's Traffic Engineer.

At the July 22, 2008 public hearing, the Planning Commission relayed additional concerns with the proposal of providing only 331 spaces. The Commission asked that the applicant consider approaching the neighboring property, Daughters of Mary and Joseph, to establish a joint-use parking agreement for overflow parking when necessary. The property owner submitted a letter from the Daughters of Mary and Joseph (attached) property indicating that they would be receptive to such an agreement if deemed necessary by the Planning Commission. The applicant however, felt that a better alternative would be to provide overflow parking on the St. John Fisher property by installing wear-resistant turf throughout the property. Section 17.50.040(I) (Seasonal or Peak Parking Areas) of the Development Code allows the Planning Commission to waive or conditionally waive a portion of the required parking spaces where:

1. The applicant can show what portion of the required spaces are required only on a periodic basis, such as seasonal or once a week;
2. The parking area is planted in turf of a wear-resistant type; and
3. Provision is made for irrigation and maintenance of the turf.

In order to address the Commissions concerns with overflow parking, the applicant has identified areas throughout the property that would accommodate an additional 61 parking spaces. These spaces would be available once a week (on Sundays), during high peak seasons (such as Christmas and Easter) or whenever deemed necessary. In order to

ensure that safety is not an issue for the function of the elementary school, Staff has proposed a condition of approval that prohibits the use of the seasonal/peak parking area while the school is in operation (Monday through Friday, between 7:00 AM and 6:00 PM).

As such, based on the parking analysis and the addition of 61 seasonal and peak parking spaces provided on-site, Staff is of the opinion that the applicant has effectively provided parking for the St. John Fisher property. In addition, as noted in previous Staff Reports, the City’s Traffic Engineer reviewed the applicant’s parking analysis and determined that the assumptions and conclusions contained in the parking analysis appear to be valid and 331 parking spaces is sufficient to accommodate the highest demand of parking based on concurrent uses.

ADDITIONAL INFORMATION

Public Comments

Since the July 22, 2008 Planning Commission meeting, Staff has received 140 additional comment letters (attached). The majority of the correspondence continues to raise concerns regarding the height of the originally proposed sanctuary, the sounding of bells on the property, parking and traffic congestion as a result of construction equipment. All of these issues have been addressed in this report, previous Staff Reports and/or the Mitigated Negative Declaration (attached). As a reminder, Staff has created a website with a listserv feature, where any person can add their email address to receive updates on the proposed project. Anyone can subscribe to the St. John Fisher listserv through the following website by clicking on the subscribe box for St. John Fisher: <http://www.palosverdes.com/rpv/listserver/index.cfm> . If approved, Staff will continue to update all members of the listserv regarding future construction activities for the St. John Fisher Master Plan.

Draft Conditions of Approval

Attached to this report are Draft Conditions of Approval for the Commissions review. If the Commission finds that the applicant has addressed its concerns, Staff recommends that the public hearing be closed so that the Commission can begin discussing the conditions by adding, modifying or deleting conditions as deemed appropriate.

CONCLUSION

Based on the modifications made to the project to address multiple public concerns, as well as the various studies and analyses in the current and previous Staff Reports, Staff supports the applicant’s request for CUP #96 – Revision “D”, Grading Permit, Minor Exception Permit and Sign Permit. Based on the recent studies submitted by the applicant, the revised design of the sanctuary and previous analysis, Staff is of the opinion that the proposed St. John Fisher Master Plan, as conditioned, would not have any significant adverse impacts on adjacent properties. Therefore, Staff recommends that the Planning Commission review the modifications and additional information submitted by the applicant

to determine if the additional information addresses the Commission’s concerns, review the Draft Conditions of Approval and close the public hearing. Further, Staff recommends that the Commission certify the Mitigated Negative Declaration, approve the proposed St. John Fisher Master Plan (Case No. ZON2007-00492) and direct Staff to bring the appropriate Resolutions to the October 14, 2008 Planning Commission meeting.

ALTERNATIVES

The following alternatives are available for the Planning Commission to consider:

- 1) Identify any issues of concern with the proposed project, provide Staff and/or the applicant with direction in modifying the project, and continue the public hearing to October 14, 2008.
- 2) Deny, without prejudice, Conditional Use Permit #96 – Revision “D”, Grading Permit, Minor Exception Permit and Sign Permit and direct Staff to prepare the appropriate resolutions and return to the October 14, 2008 Planning Commission meeting.

Attachments:

- Draft Conditions of Approval
- Noise Study (Carillon Bells)
- Shadow Study
- Supplemental Parking Data
- Letter from Daughters of Mary and Joseph
- Model Photograph
- Additional Public Correspondence
- July 22, 2008 Planning Commission Staff Report
- July 22, 2008 Planning Commission Late Correspondence
- July 22, 2008 Planning Commission Approved Minutes
- June 24, 2008 Staff Report
- June 24, 2008 Planning Commission Late Correspondence
- June 24, 2008 Planning Commission Approved Minutes
- Additional Public Correspondence (Pre-Prepared Binder)

DRAFT CONDITIONS OF APPROVAL

St. John Fisher Master Plan
CUP #96 – Revision “D”, Grading Permit, Minor Exception Permit and Sign Permit
Case No. ZON2007-00982
Draft Conditions of Approval

General Conditions:

1. The applicant shall comply with all mitigation measures as identified in the Mitigation Monitoring Program for the Certified Mitigated Negative Declaration for the project.
2. Prior to the submittal of plans into Building and Safety plan check, the applicant and the property owner shall submit to the City a statement, in writing, that they have read, understand and agree to all conditions of approval listed below. Failure to provide said written statement within ninety (90) days following the date of this approval shall render this approval null and void.
3. Prior to the submittal of plans into Building and Safety plan check, the applicant shall obtain an encroachment permit from the Director of Public Works for any curb cuts or any other temporary or permanent improvements within the public rights-of-way.
4. Approval of this permit shall not be construed as a waiver of applicable and appropriate zoning regulations, or any Federal, State, County and/or City laws and regulations. Unless otherwise expressly specified, all other requirements of the City of Rancho Palos Verdes Municipal Code shall apply.
5. The project development on the site shall conform to the specific standards contained in these conditions of approval or, if not addressed herein, shall conform to the institutional development standards of the City’s Municipal Code.
6. Failure to comply with and adhere to all of these conditions of approval may be cause to revoke the approval of the project pursuant to the revocation procedures contained in Section 17.86.060 of the City’s Municipal Code.
7. In the event that any of these conditions conflict with the recommendations and/or requirements of another permitting agency or City department, the stricter standard shall apply.
8. Unless otherwise designated in these conditions, all construction shall be completed in substantial conformance with the plans stamped APPROVED by the City with the effective date of the Notice of Decision.
9. The construction site and adjacent public and private properties and streets shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may

include, but not be limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or fixtures.

10. All applicable permits required by the Building and Safety Division shall be obtained by the applicant prior to the commencement of construction.
11. All mechanical equipment, whether roof-mounted or ground-mounted, shall be adequately screened from other properties and/or rights-of-way.
12. The project applicant shall maintain, in good condition, two access driveways. One access driveway shall be maintained from Crest Road and a second access driveway shall be maintained from Crenshaw Boulevard.

Project Description

13. This approval establishes a Master Plan (St. John Fisher Master Plan) for the St. John Fisher property located at 5448 Crest Road. The approved Master Plan denotes a combined total of 10,329 square feet of existing facilities including offices, a youth building and the existing rectory along the north property line. In addition, the Master Plan allows 26,544 square feet of the existing facilities to be remodeled, including converting the exiting convent into a new rectory, converting the existing sanctuary into a new gymnasium and remodeling existing classrooms and offices.
14. The approved St. John Fisher Master Plan allows for the following additions to the property:
 - A new 17,000 square foot sanctuary (to replace the existing 15,402 square foot sanctuary) to be located at the northwest corner of the subject property. The sanctuary also includes a 900 square foot basement for the housing of mechanical equipment. The new sanctuary will be circular in shape, whereby the main structure will range in height from 15'-0" at the northeast end of the structure to 43'-0" at the southwest. In addition, the new sanctuary will include a steeple, at the west end of the structure, with a maximum height of 60'-0" to the top of the steeple and 74'-0" to the top of the cross which is affixed to the top of the steeple. The proposal includes the installation of speakers in the steeple and the operation of recorded carillon bells.
 - A new 9,788 square foot administration building (7,488 square foot first floor and 2,300 square foot basement); and
 - A 1,074 square foot addition for the creation of a new two-classroom preschool; and

- A new 1,289 square foot art room at the northwest corner of the existing classrooms; and
- A new 1,217 square foot school library at the northeast corner of the existing classrooms; and
- A 304 square foot expansion to Barrett Hall for storage area; and
- A new 454 square foot garage at the southeast corner of the property, adjacent to the priest's new rectory (previously a convent); and
- A 400 square foot addition north of the existing music room to accommodate two (2) new offices.

Lighting

15. Exterior lighting shall be in compliance with the standards of Section 17.56.040 of the Rancho Palos Verdes Development Code and as identified in the Certified Mitigated Negative Declaration. No outdoor lighting is permitted where the light source is directed toward or results in direct illumination of a parcel of property or properties other than that upon which such light source is physically located.

Grading and Drainage

16. This approval allows a total of 30,688 cubic yards of grading with the following quantity breakdown:
 - 19,694 cubic yards of excavation
 - 10,994 cubic yards of fill
17. A maximum of 8,700 cubic yards of excavation is permitted for export.
18. The applicant is proposing a total of five (5) retaining walls as described below:
 - A combination wall along the east property line, adjacent to the existing driveway, which will exceed an allowed height of 8'-0" and will reach a maximum height of 11'-6",
 - A combination wall along the west side of the existing driveway, accessed from Crest Road (proposed maximum height of 11'-6"),
 - A combination wall to accommodate new parking along the south property line (proposed maximum height of 11'-6"),
 - A new retaining wall, just north of the proposed parking lot (maximum height of 7'-6",

- A new garden wall to accommodate a new walkway from the corner of Crest and Crenshaw to the new sanctuary and
 - An 8'-0" tall retaining wall between the proposed gymnasium and new sanctuary for a columbarium.
19. The applicant shall install wrought-iron fencing for all proposed combination walls. The wrought-iron fencing shall meet the code definition for "fence" pursuant to the RPVMC.
20. Construction of buildings is prohibited on extreme slopes (35% or greater slope).

Parking

21. Only the uses listed in the parking analysis shall be allowed to operate on the St. John Fisher property. These uses are:
- Sanctuary (assembly space)
 - Elementary School
 - Preschool
 - Administrative Offices
 - School Library
 - Barrett Hall (assembly space)
 - Gymnasium (assembly space)
 - Fireside Room (assembly space)
 - Multi-purpose room (assembly space)
 - Rectory (single-family residential)
 - K-8 Religious education (in existing structures)
22. On Saturdays and Sundays, the only uses that are permitted to operate concurrently are the sanctuary and religious education classes. All other uses are not permitted to be utilized during mass times or within a half an hour before or after mass.
23. The project applicant shall provide a minimum of 331 parking spaces as depicted in the Planning Commission approved site plan.
24. Of the 331 required parking spaces, 265 standard parking spaces shall meet the minimum dimensions set forth in Section 17.50 of the RPVMC (9' width by 20' depth).
25. Of the 331 required parking spaces, a maximum 66 compact parking spaces are permitted, provided the spaces meet the minimum dimensions set forth in Section 17.50 of the RPVMC (8' width by 15' depth).
26. In addition to the required 331 parking spaces, the applicant shall provide a minimum of 3 loading spaces and shall meet the minimum dimensions set forth in Section 17.50 of the RPVMC (10' width by 20' depth with 14' clearance).

27. In addition to the required 331 parking spaces, the property owner shall maintain 61 additional seasonal/peak parking spaces for overflow parking once a week. Said parking shall not be used during school operating hours or one hour before school and two hours after school. Specifically, seasonal parking shall not be used Monday through Friday, between the hours of 7:00 AM and 6:00 PM.
28. The seasonal/peaking park areas shall be planted and maintained with turf that is wear-resistant.
29. The seasonal/peak parking areas shall be located in the areas depicted on the Planning Commission approved site plan.

Building Heights and Square Footage

30. The new sanctuary shall not exceed a maximum footprint of 17,000 square feet with a 900 square foot basement beneath the main floor. The new sanctuary shall not exceed a maximum height of 15'-0" at the northeast end of the structure and 60'-0" at the top of the steeple and 74'-0" at the top of the cross at the southwest end of the structure. The sanctuary shall be setback a minimum of 57'-0" from the west street-side property line along Crenshaw Boulevard and 62'-0" from the north street-side property line along Crest Road.

BUILDING AREA CERTIFICATION IS REQUIRED. A LICENSED CIVIL ENGINEER OR SURVEYOR SHALL PREPARE THE CERTIFICATION. CERTIFICATION SHALL BE SUBMITTED TO THE CITY'S BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO BULDING PERMIT FINAL.

SETBACK CERTIFICATION IS REQUIRED. A LICENSED CIVIL ENGINEER OR SURVEYOR SHALL PREPARE THE CERTIFICATION. CERTIFICATION SHALL BE SUBMITTED TO THE CITY'S BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO POURING OF FOOTINGS.

BUILDING HEIGHT CERTIFICATION IS REQUIRED. A LICENSED CIVIL ENGINEER OR SURVEYOR SHALL PREPARE THE CERTIFICATION. CERTIFICATION SHALL BE SUBMITTED TO THE CITY'S BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO ROOF FRAMING/SHEETING INSPECTION.

31. The new administrative building, along the west side of the existing school, shall not exceed a maximum footprint of 7,488 square feet. Additionally, a 2,300 square foot basement beneath the main floor shall be permitted. The new administrative building shall not exceed a maximum height of 26'-0", as measured from lowest adjacent grade.

BUILDING AREA CERTIFICATION IS REQUIRED. A LICENSED CIVIL ENGINEER OR SURVEYOR SHALL PREPARE THE CERTIFICATION. CERTIFICATION SHALL BE SUBMITTED TO THE CITY'S BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO BULDING PERMIT FINAL.

BUILDING AREA CERTIFICATION IS REQUIRED. A LICENSED CIVIL ENGINEER OR SURVEYOR SHALL PREPARE THE CERTIFICATION. CERTIFICATION SHALL BE SUBMITTED TO THE CITY'S BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO BUILDING PERMIT FINAL.

Phasing

32. The proposed St. John Fisher Master Plan is broken up into two main phases as described below. If within one year of the final effective date of the Notice of Decision, the applicant has not submitted an application for a building permit for the approved project or not commenced the approved project as described in Phase One and Phase Two below, approval of the project shall expire and be of no further effect unless, prior to expiration, a written request for extension is filed with the Department of Planning, Building and Code Enforcement and approved by the Director. Phase One and Phase Two are described as follows:

- Phase One: Phase One includes the construction of the new sanctuary, remodel of the existing sanctuary into a gymnasium/parish activity center, construction of a new parking lot, demolition of the existing rectory and youth building on the east side of the property, remodel/conversion of existing convent into rectory and site work that will not be impacted by future phase construction. The Planning Entitlements for all construction described under "Phase One" shall remain in full force and effect for a maximum of one (1) year from the final effective date of the Notice of Decision for the St. John Fisher Master Plan unless construction plans have been submitted to Building and Safety for plan check.
- Phase Two: Phase Two includes the construction of the new administration building, remodel the existing administration building into meeting rooms, construction of a new preschool, library, and art room and remaining site work associated with phase two construction. The Planning Entitlements for all construction described under "Phase Two" shall remain in full force and effect for a maximum of five (5) years from the final effective date of the Notice of Decision for the St. John Fisher Master Plan unless construction plans for the final phase of construction have been submitted to Building and Safety for plan check.

Affordable Housing Requirement

33. The property owner and/or applicant shall comply with Section 17.11.140 (Affordable Housing) of the RPVMC prior to issuance of a Certificate of Occupancy.

Landscaping

34. A landscape plan shall be submitted to the City and approved by the City's

Landscape Consultant prior to issuance of a Building Permit or Grading Permit. The proposed landscaping shall indicate how the landscaping will substantially screen the new sanctuary from neighboring properties and the surrounding rights-of-way. The landscaping plan shall also indicate the species, growth rate and maximum heights of all proposed trees.

35. Prior to removal of any trees on the property, the applicant shall submit a plan to the Planning Department indicating which trees will be removed. Said plan shall be approved by the Director of Planning, Building and Code Enforcement.
36. All existing trees that are not affected by the proposed construction, shall be maintained in a thriving manner.
37. The applicant shall retain a majority of the existing mature trees located along the west street side property, along Crest Road.

Bell Schedule

38. The carillon bells are permitted to ring on the following days and times only:
 - Monday through Saturday at 8:00 AM, 12:00 PM, and 6:00 PM; and
 - Sunday at 8:50 AM, 10:35 AM, 12:00 PM, 12:20 PM, 4:50 PM and 6:00 PM; and
 - Christmas; and
 - Easter; and
 - the following 4 Holy Holidays: 1) Christmas (December 24), 2) Assumption (August 15), 3) All Saints Day (November 1), and 4) Feast of Immaculate Conception (December 8).
39. The carillon bells shall not chime for more than a period of 60 seconds at each allotted time.
40. In no case, shall the carillon bells be chimed before 7 am or after 7 pm.
41. The speakers for the carillon bells shall face the interior of the lot and shall not directly face any adjacent residential properties.
42. The speakers for the carillon bells shall not exceed a maximum height of 16'-0", as measured from grade, adjacent to the location of the bells on the sanctuary.
43. The speakers for the carillon bells shall be setback a minimum of 110'-5" from any property line, as noted on the approved project plans.
44. No later than two (2) months after installation of the carillon bells, the Planning Commission shall review the impacts of the carillon bells to assess the effectiveness of the Conditions of Approval in minimizing the impacts of the bells to neighboring properties. To address this concern, the applicant will be required to

submit a Trust Deposit to cover the cost of a City-Approved Noise Consultant to measure the decibel rating of the carillon bells and prepare a report that will be presented to the Planning Commission. At that time, the Planning Commission may add, delete or modify any of the respective conditions of approval or may prohibit the use of bells if the Commission determines that the imposed conditions are not effective in minimizing sound effects to neighbors. Said modifications shall not result in substantial changes to the design of the sanctuary or other ancillary structures. Notice of said review hearing shall be published and provided to owners of property within a 500-foot radius of the subject site, to persons requesting a notice, to all affected homeowner associations and to the property owner in accordance with the RPVMC. The Planning Commission may require such subsequent additional reviews, as the Planning Commission deems appropriate.

NOISE STUDY

(Carillon Bells)

August 31, 2008

6147-3

Mrs. Shelly Hyndman
Hyndman & Hyndman
2611 South Coast Highway 101, Suit 201
Cardiff, CA 92007

SUBJECT: FOCUSED CARILLON SOUND STUDY for "ST. JOHN FISHER" CHURCH

Dear Shelly:

Dudek has completed a carillon bells sound level study for the St. John Fisher Church in the City of Rancho Palos Verdes, California. The purpose of this study is to evaluate the potential impact of the carillon bells sound level upon surrounding land uses.

The results of our analysis are summarized in this report, which includes the following sections: 1) Project Background and Setting; 2) Terminology; 3) Criteria; 4) Impact Analysis; 5) Conclusions.

1.0 PROJECT BACKGROUND AND SETTING

The St. John Fisher Church is located at 5448 Crest Road, at the intersection with Crenshaw Boulevard, in the City of Rancho Palos Verdes, California. (*Figures 1 and 2*). The project proposes to develop a new church building at the site that would include a carillon. The purpose of this sound study is to evaluate the carillon bells' sound levels and its potential noise impact upon surrounding land uses.

Sensitive receivers nearest to the church site potentially impacted by the sound of the carillon bells include: the Daughters of Mary and Joseph Retreat Center to the East; the Ridgecrest Rancho residential neighborhood to the North; the Villa Verde residential neighborhood to the Northwest; the Island View residential neighborhood to the West; and the Rancho Crest residential neighborhood to the south (*Figure 2*).

The anticipated carillon schedule is:

- Monday through Saturday: 8:00 a.m.; 12:00 noon; 5:05 p.m.; 6:00 p.m.
- Sunday: 8:50 a.m.; 10:35 a.m.; 12:00 noon; 12:20 p.m.; 4:50 p.m.; 6:00 p.m.

In addition to the above regular schedule, the carillon may also be used for funerals, weddings, Holy Day masses (7 times per year). In no case would the carillon be used prior to 8:00 a.m. or after 6:00 p.m.

2.0 COMMUNITY NOISE CHARACTERISTICS

To evaluate impacts upon areas that are sensitive to community noise, measurement scales that simulate human perception are customarily used. These measurement scales, basic noise terminology, concepts, and human perception of sound are described in the following paragraphs.

Sound (noise) levels are measured in decibels (dB). Community noise levels are measured in terms of an A-weighted sound level. The A-weighted scale of frequency sensitivity accounts for the sensitivity of the human ear, which is less sensitive to low frequencies, and correlates well with human perception of the annoying aspects of sound. The A-weighted decibel scale (dBA) is cited in most community noise criteria. All sound levels discussed in this report are A-weighted.

Human activities cause community noise levels to be widely variable over time. For simplicity, sound levels are usually best represented by an equivalent level over a given time period (Leq). The Leq, or equivalent sound level, is a single value (in dBA) for any desired duration, which includes all of the time-varying sound energy in the measurement period, usually one hour. Technical terms used in this report are summarized in *Table I*

Table I Terms and Definitions	
TERM	DEFINITION
Ambient Noise Level	The composite of noise from all sources near and far. The normal or existing level of environmental noise at a given location.
A-Weighted Sound Level, dBA	The sound pressure level in decibels as measured on a sound level meter using the A-weighted filter network. The A-weighting filter de-emphasizes the very low and very high frequency components of the sound in a manner similar to the frequency response of the human ear and correlates well with subjective reactions to noise.
Decibel, dB	A unit for measuring sound pressure level and is equal to 10 times the logarithm to the base 10 of the ratio of the measured sound pressure squared to a reference pressure, which is 20 micropascals.
Equivalent Noise Level, Leq	The sound level corresponding to a steady state sound level containing the same total energy as a time varying signal over a given sample period. Leq is designed to average all of the loud and quiet sound levels occurring over a time period.

Focused Carillon Sound Study of "St. John Fisher" Church

Community noise levels are usually related to the intensity of nearby human activity. Community noise levels are generally considered low when ambient levels are below 45 dBA, moderate in the 45 to 60 dBA range, and high above 60 dBA. In wilderness areas, the noise levels can be below 35 dBA. In small towns or wooded and lightly used residential areas, the noise levels are more likely to be around 50 or 60 dBA. Community noise levels around 75 dBA are more common in busy urban areas and levels up to 85 dBA occur near major freeways and airports. Common A-weighted sound levels for various indoor and outdoor noise sources are shown in *Table 2*.

Table 2		
Common Outdoor and Indoor Noise Levels (dBA)		
Common Outdoor Noise Levels	Noise Level	Common Indoor Noise Levels
	110	Rock Band
Commercial Jet at 200 ft	105	
	100	Inside Subway Train
Gas Lawnmower at 3 ft	95	
	90	
Diesel Truck at 50 ft	85	Food Blender at 3 ft
Noisy Urban Daytime	80	Garbage Disposal at 3 ft
Automobile at 50 ft	75	Shouting at 3 ft
Gas Lawnmower at 30 ft	70	Vacuum Cleaner at 10 ft
Commercial Area	65	Normal Speech at 3 ft
Heavy Traffic at 300 ft	60	
Quiet Urban Daytime	50	Large Business Office
Quiet Urban Nighttime	40	Small Theater, Large Conference Room
Quiet Suburban Nighttime	35	Library
	30	Bedroom at Night
Quiet Rural Nighttime	35	Concert Hall
Whisper at 6 ft	20	Broadcast and Recording Studio
Human Breathing	10	
	0	Threshold of Hearing

It is widely accepted in the acoustical industry that a community noise level change of 3 dBA is barely perceptible to most people, a 5-dBA change in noise level is considered readily perceptible, and a 10-dBA change is perceived as a doubling or halving of noise.

3.0 CRITERIA

The City of Rancho Palos Verdes has no Ordinance or Municipal Code with quantitative criteria that would apply to the carillon’s sound levels. The adjacent City of Rolling Hills’ Municipal Code (*Title 8 – Health and Safety, Chapter 8.32 Noise*) includes the following standards applicable to residential zoned areas:

Extract of the City of Rolling Hills Municipal Code Exterior Noise Standards

- A. The following exterior noise levels, unless otherwise specifically indicated, shall apply to all receptor properties within a designated noise zone and shall constitute the ambient noise level for the purpose of establishing standards:

Designated Noise Zone Land Use	Time Interval	Exterior Noise Level (dBA)
Residential and Agricultural	7:00 a.m. to 10:00 p.m.	55
	10:00 p.m. to 7:00 a.m.	45

- B. Unless otherwise herein provided, no person shall operate or cause to be operated any source of sound at any location within the city, or allow the creation of any noise on property owned, leased, occupied or otherwise controlled by such person which causes the noise level when measured on any other property to exceed the following standards:

1. “Standard No. 1” means the applicable ambient exterior noise level as set forth in subsection A of this section plus five dB for a cumulative period of more than twenty minutes in any hour.
2. “Standard No. 2” means the applicable ambient exterior noise level as set forth in subsection A of this section plus ten dB for a cumulative period of more than ten minutes in any hour.
3. “Standard No. 3” means the applicable ambient exterior noise level as set forth in subsection A of this section plus fifteen dB for a cumulative period of more than one minute in any hour.

In summary, the City of Rolling Hills’ Municipal Code requires 55 dBA daytime (7:00 a.m. to 10:00 p.m.) and 45 nighttime (10:00 p.m. to 7:00 a.m.) ambient noise level not to be exceeded by five dBA for a cumulative period of more than twenty minutes in any hour, by ten dBA for a cumulative period of more than ten minutes in any hour, or by fifteen dBA for a cumulative period of more than one minute in any hour.

4.0 MONITORED CARILLON SOUND LEVELS

The carillon sound levels have been monitored on Friday, August 22, 2008, between approximately 10:30 a.m. and 1:00 p.m. during the operation of a carillon demonstration model at the site. The carillon loudspeaker was placed at approximately the same location and height as the planned carillon speaker, and positioned to direct the carillon sound to the church parking lot area/southerly property line. The amplifier used during the sound level readings was set at the "medium" loudness level.

The measurements were taken with a calibrated Rion NL 32 (Serial Number 01030561) integrating sound level meter equipped with a ½-inch pre-polarized condenser microphone with pre-amplifier. This sound level meter meets the current American National Standards Institute standard for a Type 1 precision sound level meter. The sound level meter was positioned at a height of approximately five feet above the ground. Sound levels were monitored at the following locations (*Figure 3*):

- Site 1: On-site, at approximately 160 feet from, and in front of the carillon loudspeaker;
- Site 2: At the church's southerly property-line (PL) shared with the Rancho Crest residential neighborhood, with a direct line-of sight (not shielded by existing buildings) and in front of the carillon loudspeaker;
- Site 3: At the church's shared property-line with the Daughters of Mary and Joseph Retreat Center to the East;
- Site 4: Off-site, near the property-line of the Ridgecrest Rancho residential neighborhood to the North;
- Site 5: Off-site, near the property-line of the Villa Verde residential neighborhood to the Northwest;
- Site 6: Off-site, near the property-line of the Island View residential neighborhood to the West;
- Site 7: Off-site, in the backyard of a Rancho Crest neighborhood residence at 5465 Valley View Road (shielded by existing buildings).

It should be noted that the sound level readings were taken during periods with no vehicles on Crest or Crenshaw Boulevard near the monitor locations.

A summary of the sound level measurement results in terms of fast A-weighted sound pressure level L_{eq} is presented in *Table 3*.

Monitor Site¹	Noise Level
1	66 dBA
2	50 dBA
3	45 dBA
4	47 dBA
5	49 dBA
6	49 dBA
7	46 dBA

The data in Table 3 indicates that the on-site carillon sound level was 66 dBA at approximately 160 feet from, and in front of, the carillon loudspeaker (monitor Site 1). Sound levels monitored at the off site property line locations (Sites 2 through 6) ranged between 45 dBA to 50 dBA. The sound level monitored in the backyard of a residence (monitor location 7) was 46 dBA.

It should be noted that the carillon sound was barely audible at monitor locations 4, 5, and 6, and the readings at these locations were within one dBA, with and without the carillon being operated. With vehicles present, vehicle noise levels at the monitor site 4, 5, and 6 ranged between 65 and 70 dBA. The carillon sound was not audible at all at monitor location 7, due to distance sound attenuation and shielding by buildings and topography.

5.0 CONCLUSIONS

Based on sound level measurements conducted by Dudek staff, it is anticipated that carillon sound levels will be 50 dBA or less at the nearest sensitive receptor location. This 50-dBA carillon sound level, occurring for short time periods (1 to 2 minutes) only, is well below the City of Rolling Hills’ Municipal Code daytime 65-dBA noise level allowed for a cumulative period of ten minutes in any hour, and the 60 dBA noise level allowed for a cumulative period of twenty minutes in any hour.

The 65 dBA noise level generated by normal speech at 3 ft or the 70 dBA noise level generated by a gas lawnmower at 30 feet distance (Table 2), are 15 to 20 dBA higher, or more than double the 50 dBA carillon bells sound level at the nearest sensitive location.

In conclusion, the noise impacts from the carillon sound levels are considered *less than significant*.

¹ See Figure 3

Focused Carillon Sound Study of "St. John Fisher" Church

Should you have any questions regarding the above information, please do not hesitate to contact me at (805) 208-4827 or coverweg@dudek.com.

Respectfully submitted,

DUDEK



CORNELIS OVERWEG, P.E., LEED AP, INCE
Senior Acoustical Engineer



Enclosures:

- Figure 1 – Regional Location
- Figure 2 – Project Vicinity
- Figure 3 – Monitor Locations

DUDEK

REFERENCES

CITY OF ROLLING HILLS. *Municipal Code (Title 8 – Health and Safety, Chapter 8.32 Noise)*

HYNDMAN & HYNDMAN ARCHITECTURE. *Project and Site Plans*

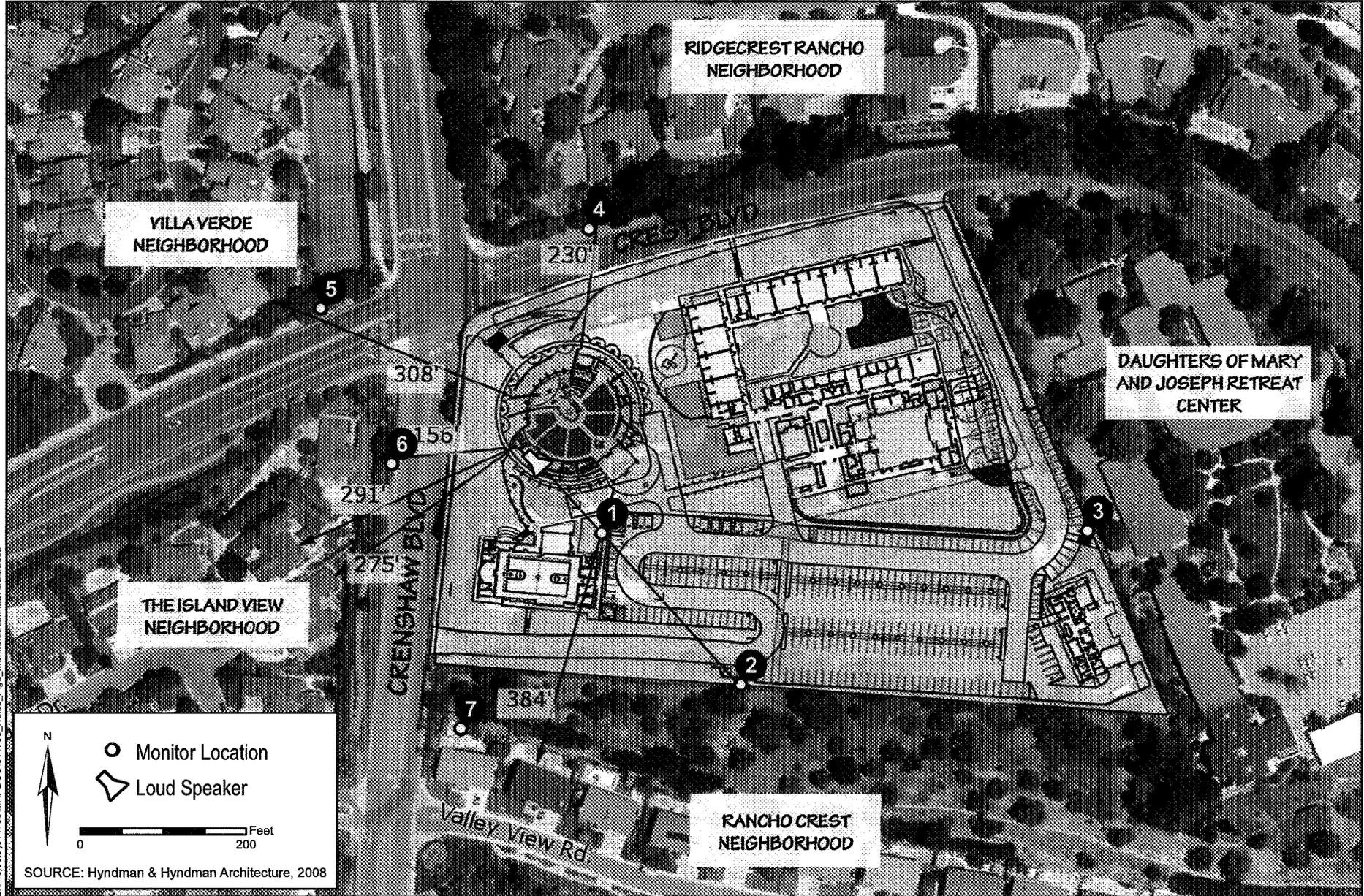
MAAS-ROWE CARILLONS, INC. *Carillon and loudspeaker setup and operation.*



DUDEK

St. John Fisher Church - Noise Study
Project Vicinity

FIGURE 2



Z:\Projects\1614703\MAP\DOC\1614703_Noise_Fig3_MonitorLocs.mxd 8/28/2008

DUDEK

St. John Fisher Church - Noise Study
Monitor Locations

FIGURE
3

SHADOW STUDY

DUDEK

MAIN OFFICE
605 THIRD STREET
ENCINITAS, CALIFORNIA 92024
T 760 942 5147 T 800 450 1818 F 760 632 0164

September 9, 2008

6147-02

Shelly Hyndman
Hyndman & Hyndman
2611 South Coast Highway 101, Suit 201
Cardiff, CA 92007

Subject: Shadow Study of St. John Fisher Church Project

Dear Shelly:

Dudek has completed the shadow study for the proposed St. John Fisher project. The project includes a proposed 870-seat sanctuary on an existing church campus on the corner of Crest Road and Crenshaw Boulevard in Rancho Palos Verdes, California (Figures 1 and 2). The proposed steeple on the sanctuary would be 60 feet tall, with a 14-foot-tall cross on top, for a total maximum height of 74 feet. A landscape plan would include pine and pepper trees to buffer the proposed sanctuary. This study evaluates shading effects of the existing and proposed church facilities, with an emphasis on off-site shading effects. The results of our analysis are summarized in this report.

Background – Shading Effects

Within developed settings, buildings commonly cast shadows on adjacent and nearby properties. Shading can have positive consequences, such as cooling effects during warm weather, and negative consequences, such as the loss of natural light for solar energy purposes or loss of warming influences during cool weather.

Shading from structures is a function of the location and dimensions of structures, the presentation of the ground surface to the sun relative to the earth's axis, and the sun's position in the sky relative to the ground. The sun's position in the sky changes as the seasons progress from summer to winter in both the northern and southern hemisphere. These factors influence the length and position of shadows. During any season, the sun is in its most nearly vertical position relative to the ground surface, at approximately 12 noon. This is when shadows are the shortest. On June 21 (summer solstice), the sun is the highest in the sky and shadows are the shortest. As winter approaches, the sun's angle relative to the earth's horizon changes and shadow lengths become longer. On December 21 (winter solstice), the sun is lowest in the sky, and shadows are greatest. During the spring and fall equinox, the sun rises exactly in the east and the sun is directly above the equator.

A shadow analysis was conducted in order to assess the shadow effect of the project on adjacent areas. The focus of this analysis was determining the effects of shadows cast at different times of the year by the project on off-site land uses. Figures 3 through 5 illustrate the shadows cast from the proposed

sanctuary, as well as from existing church structures. Figures 6 through 8 show the shadows cast from the proposed sanctuary, proposed trees near the corner of Crenshaw Boulevard and Crest Road, existing church buildings, and existing trees. The results of this analysis are summarized below.

Vernal and Autumnal Equinox (March 20-21 and September 22-23)

During the spring and fall equinox, shadow lengths are mid-way between summer and winter solstice. The spring and fall equinox have shadows of equal length during all times of the day, therefore, only one set of figures are shown to reflect both the spring and fall equinox predicted shadow lengths at 9:00 am and 3:00 pm (see Figures 3 and 6). On this day at 9:00 am, the shadows would extend northwesterly. Similar to the existing church structure to the immediate south of the proposed sanctuary, the sanctuary would shade the northwest corner of the project site, as well as a small portion of northbound Crenshaw Boulevard. As shown in Figure 6, project landscaping would shade most of northbound Crenshaw Boulevard and would partially shade portions of southbound Crenshaw Boulevard adjacent to the sanctuary. Similar to the existing trees along the northern portion of the church campus, proposed project landscaping would partially shade portions of westbound Crest Road north of the project site. At 3:00 pm, the project shadows would be cast northeasterly. Shadows would be confined to the project site. After 3:00 pm the shadows would continue in a northeasterly direction. No surrounding structures or residential yards would be shaded during the vernal or autumnal equinoxes.

Summer Solstice (June 21-22)

As shadows are shortest on this day, the impact would be the most minimal of any day of the year. Figures 4 and 7, Summer Solstice Shadows, depict predicted shadow lengths at 9:00 am and 3:00 pm. At 9:00 am, the shadows would extend westerly and the sanctuary would produce a relatively small shadow that is confined to the church campus and does not extend into Crenshaw Boulevard. As shown in Figure 7, the sanctuary and project landscaping would partially shade the northbound lanes of Crenshaw Boulevard adjacent to the project site. After 9:00 am, the shadows would begin to move easterly. At 3:00 pm the shadows would continue to extend easterly and would remain confined to the church campus. After 3:00 pm, the shadows would continue to move easterly. No offsite structures or residential yards would be shaded during the summer solstice.

Winter Solstice (December 21-22)

The sun's angle is at its lowest during winter solstice, therefore the shadows are longest, and potential shadow impacts are greatest. Therefore, this time period represents the worst-case shading scenario. Figures 5 and 8, Winter Solstice Shadows, depict predicted shadow lengths at 9:00 am and 3:00 pm. As shown in Figure 5, at 9:00 am, shadows from one existing structure and the proposed sanctuary would cast in a northwesterly direction upon portions of Crenshaw Boulevard and Crest Road. No shadows are cast onto adjacent residential properties as a result of proposed structures.

When existing and project landscaping is included, as shown in Figure 8, shadows would cover additional portions of Crenshaw Boulevard and Crest Road. Also, four backyards in the residential neighborhood

Shelly Hyndman

Subject: Shadow Study of St. John Fisher Church Project

north of the project site would be completely or partially shaded due to shadows cast by existing and proposed landscaping. It is noted that the majority of these shadows result from existing church campus landscaping, and shading resulting from proposed landscaping would cover the intersection and the southwest portion of one residential backyard on the corner of Crenshaw Boulevard and Crest Road.

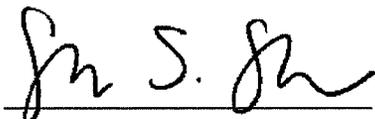
At 3:00 pm, the project would cast shadows in a northeasterly direction, and shadows resulting from existing and proposed structures would be confined to the church campus, as shown in Figure 5. Existing and proposed landscaping would shade a portion of Crest Road along the north side of the church campus, with the greatest extent of shading resulting from the existing campus trees (Figure 8). No residential structures or yards would be shaded. The shading impacts of the project would occur for a short period of time throughout the day due to the sun's motion in the sky.

Summary

Overall, offsite shading impacts would be greatest during the winter solstice, and would predominantly result in shading to adjacent roadways. Under existing conditions, and not as a result of proposed landscaping or structures, shading of four residential yards to the north of Crest Road would result during the morning hours during the winter months. The proposed sanctuary would result in shading to the Crest Road/Crenshaw Boulevard intersection roadways only. Proposed landscaping would result in shading to a portion of one residential backyard on the northeast corner of Crest Road/Crenshaw Boulevard.

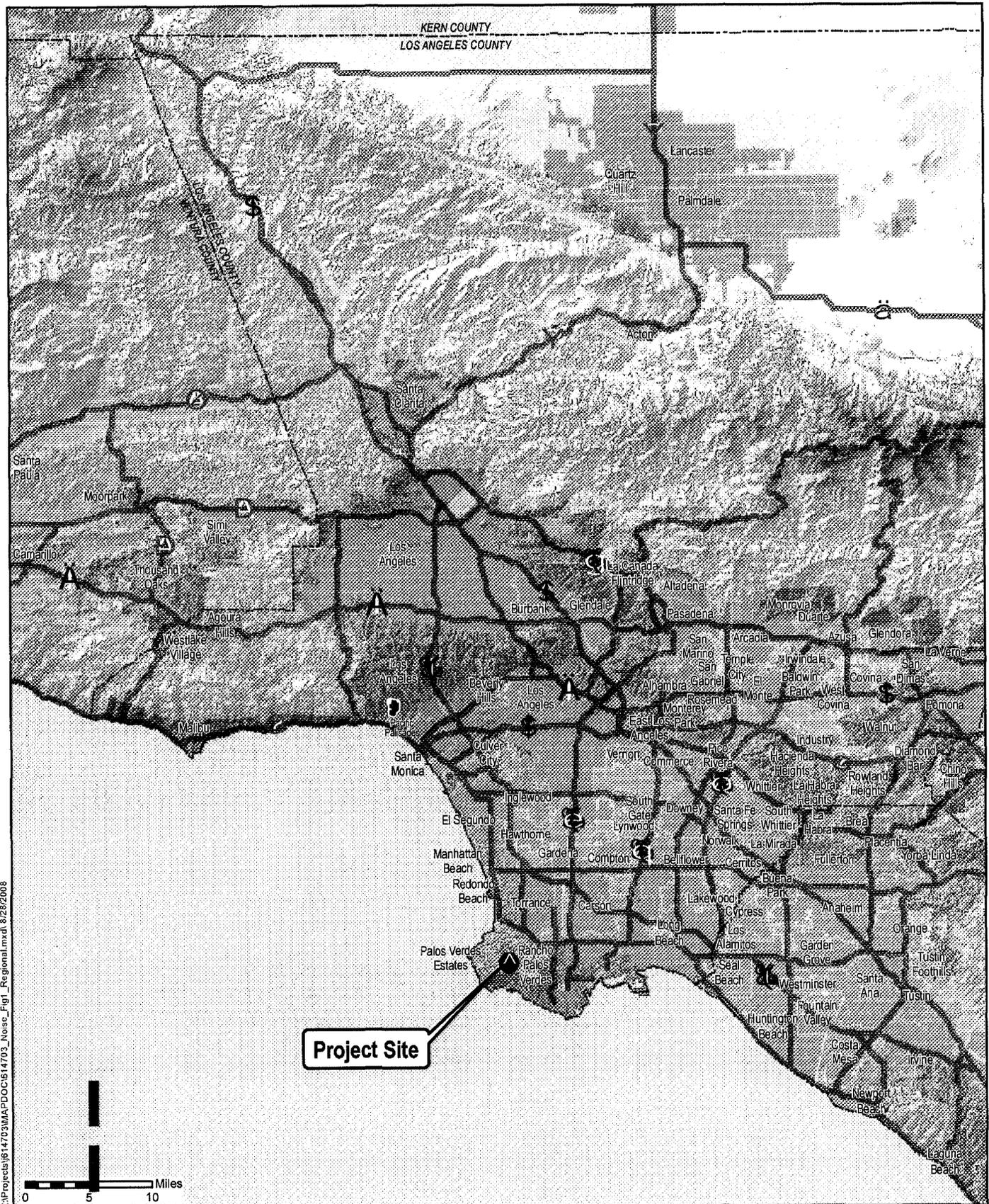
Should you have any questions regarding the above information, please do not hesitate to contact me at 760.479.4228 or sshamlou@dudek.com.

Respectfully submitted,



Shawn Shamlou, AICP
Environmental Project Manager

Enc: Figure 1 – Regional Location
Figure 2 – Project Vicinity
Figures 3 through 8 – Shadow Study graphics

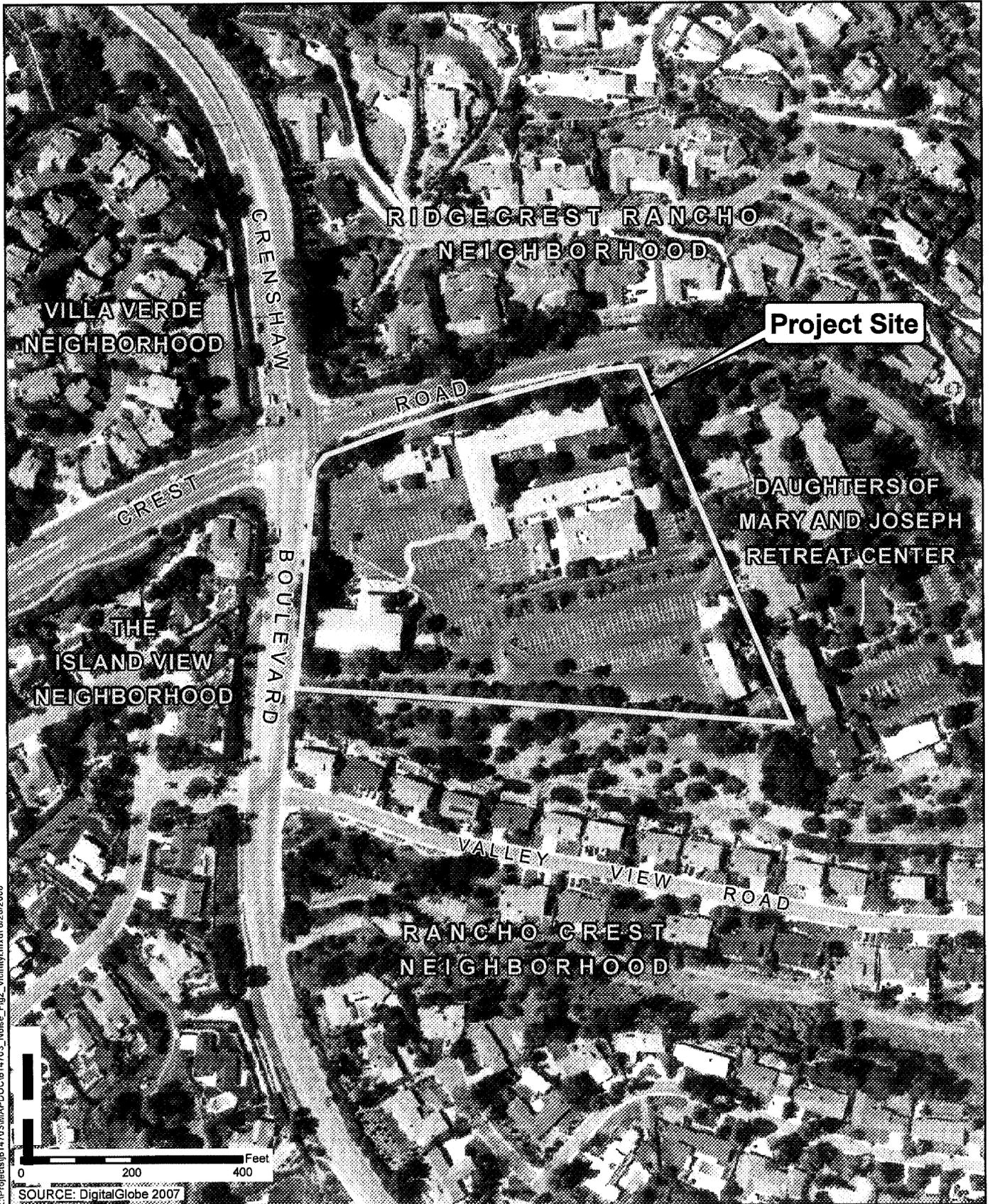


Z:\Projects\1614703\MAP\DOC\1614703_Noise_Fig_Regional.mxd, 8/28/2008

DUDEK

St. John Fisher Church - Shadow Study
Regional Map

FIGURE
1
34

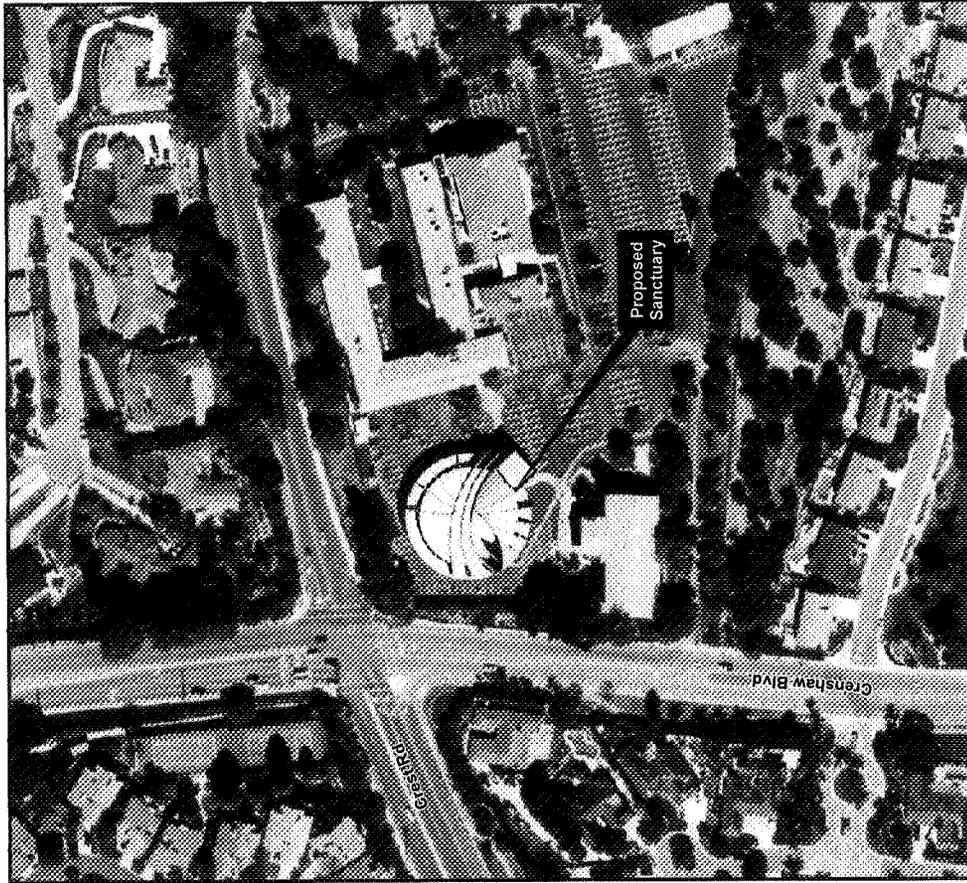


Z:\Projects\14703MAPDOC\14703_Noise_Fig2_Vicinity.mxd 8/28/2008

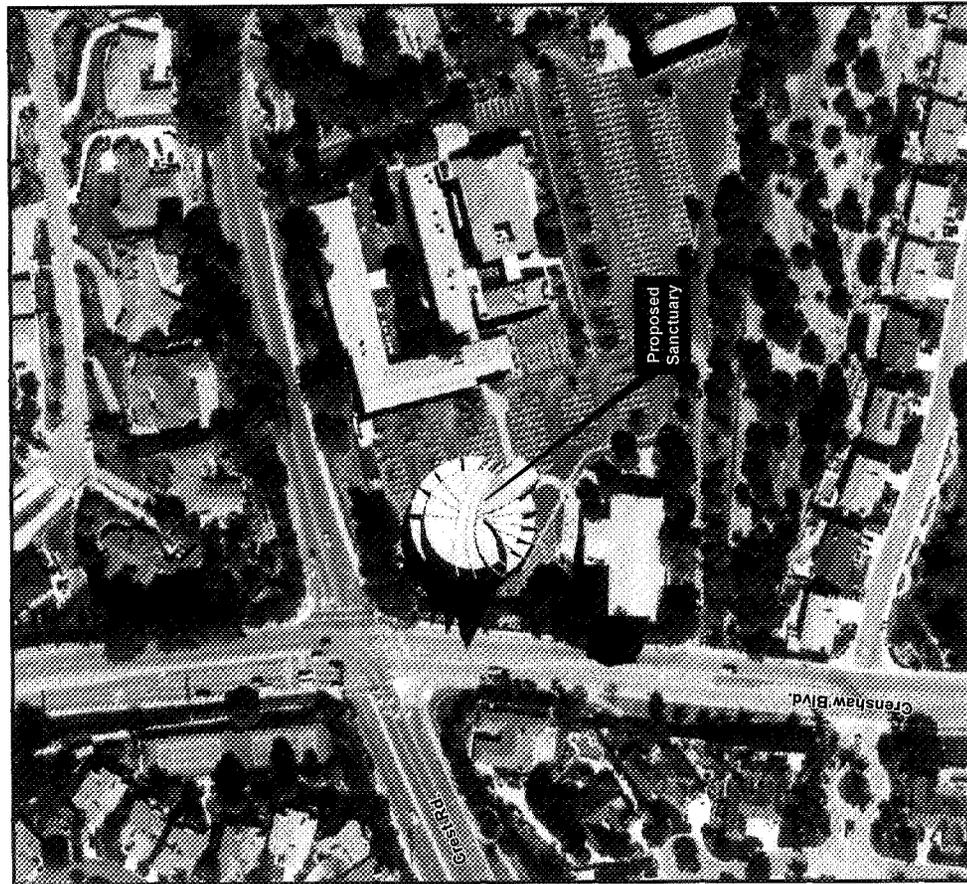
DUDEK

St. John Fisher Church - Shadow Study
Project Vicinity

FIGURE
2



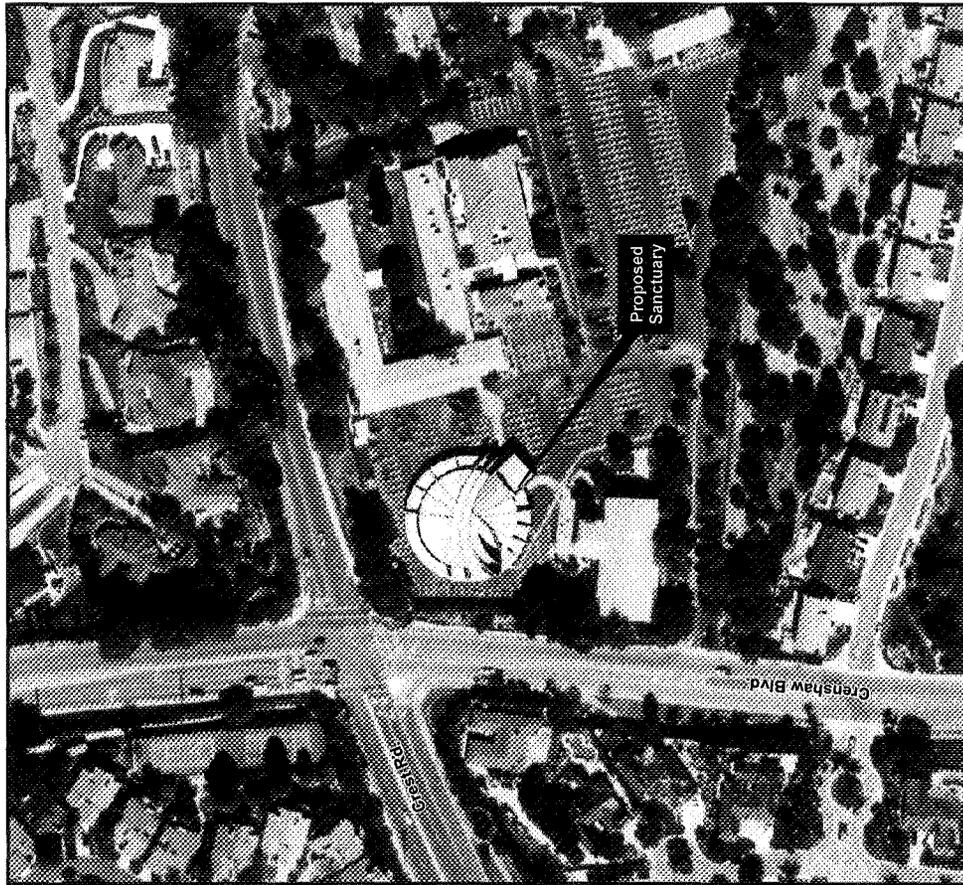
3pm



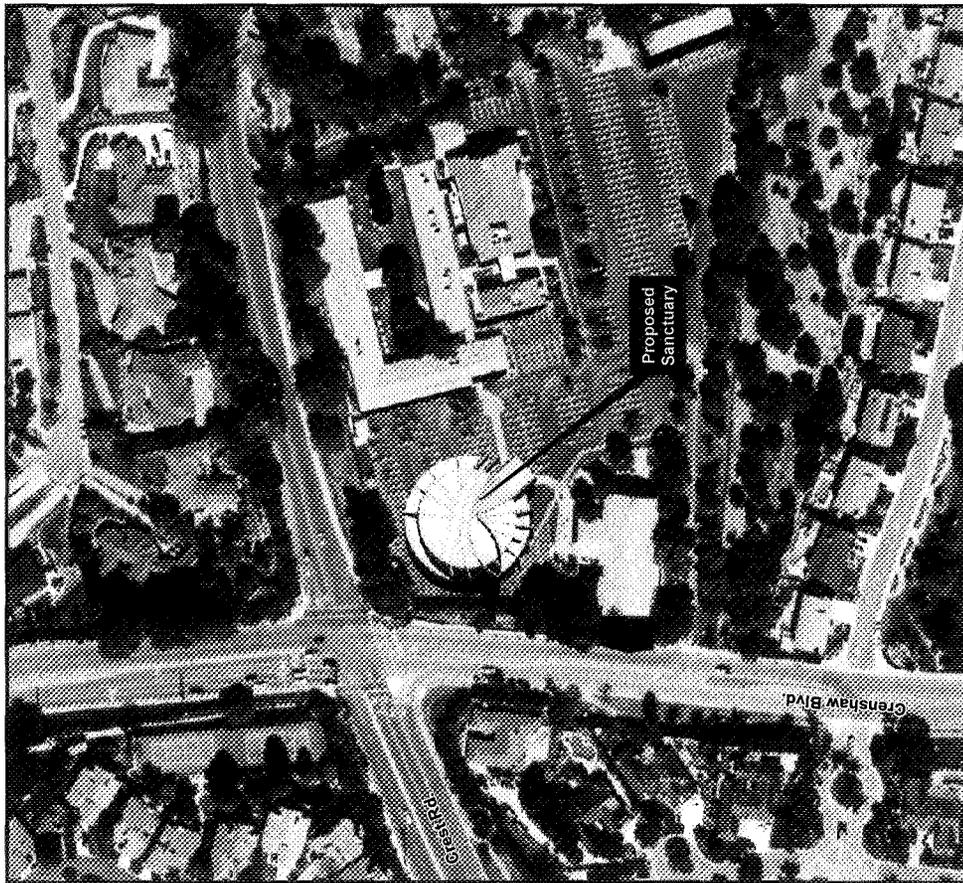
9am

FIGURE
3

St. John Fisher Church - Shadow Study
Spring and Fall Equinox Shadows - Buildings Only



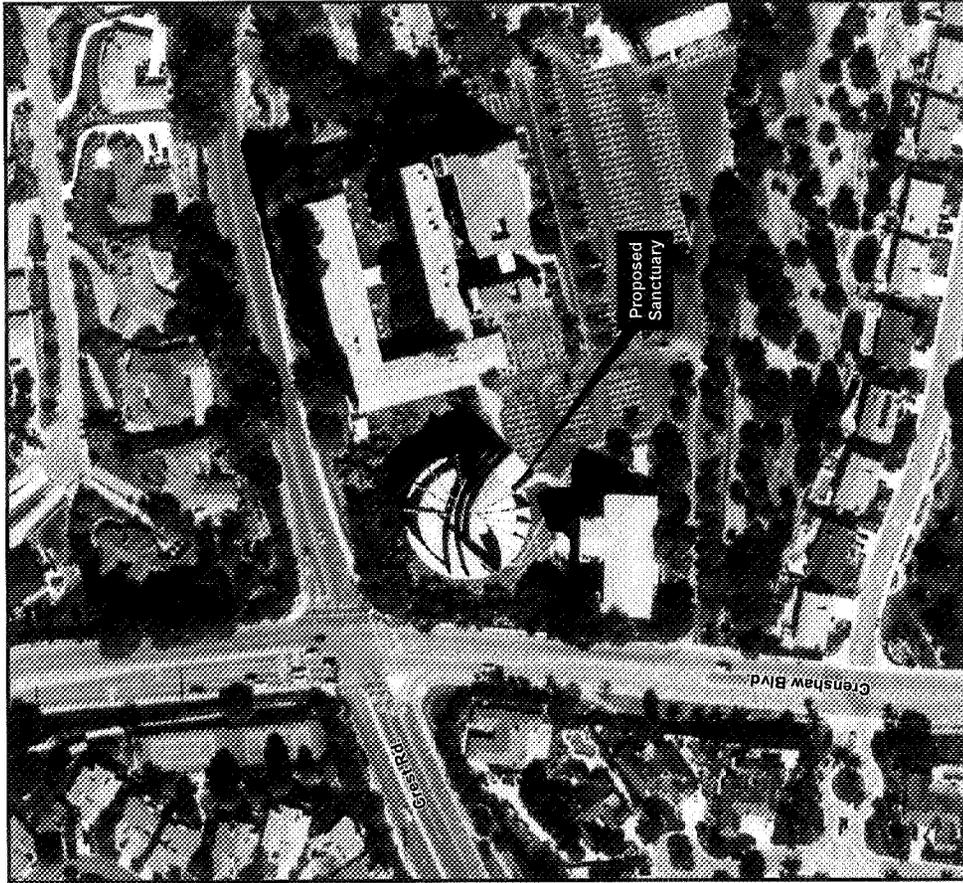
3pm



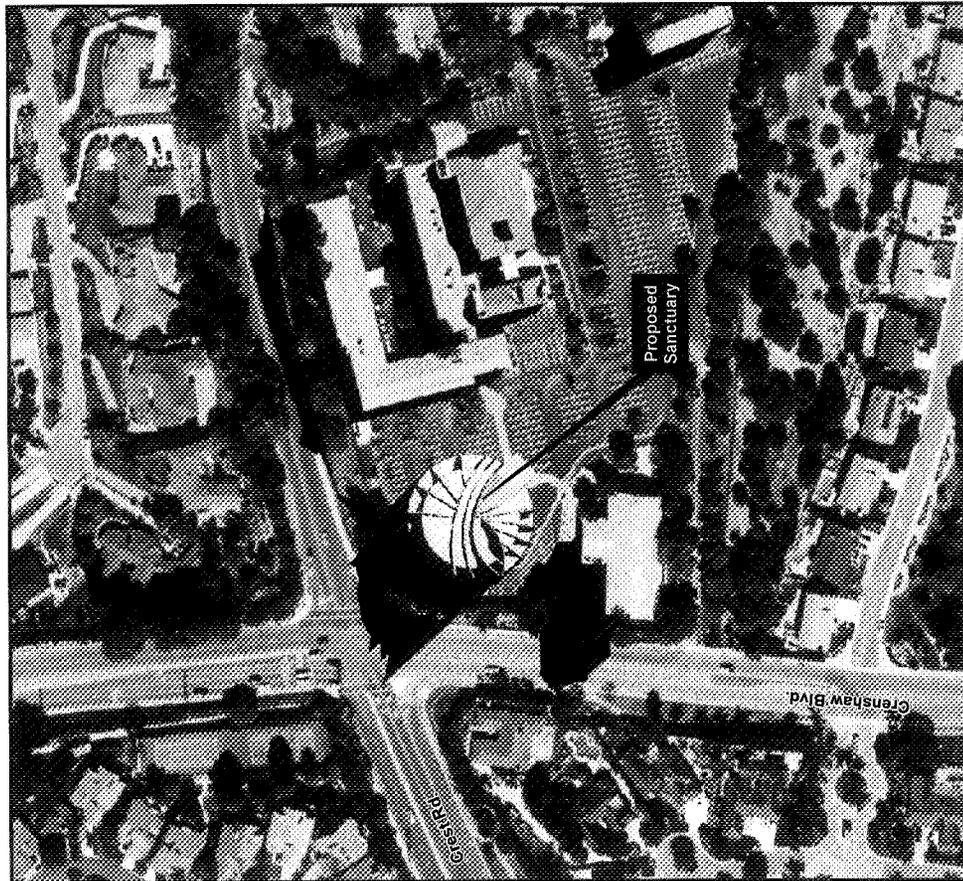
9am

FIGURE
4

St. John Fisher Church - Shadow Study
Summer Solstice Shadows - Buildings Only



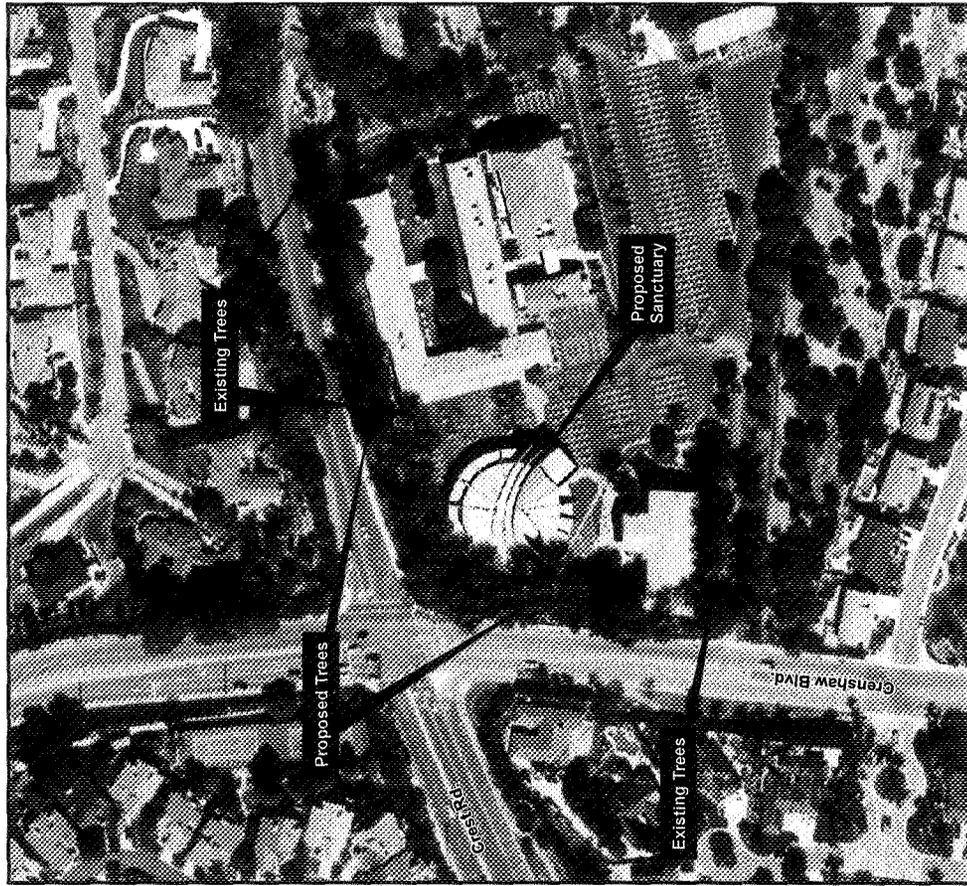
3pm



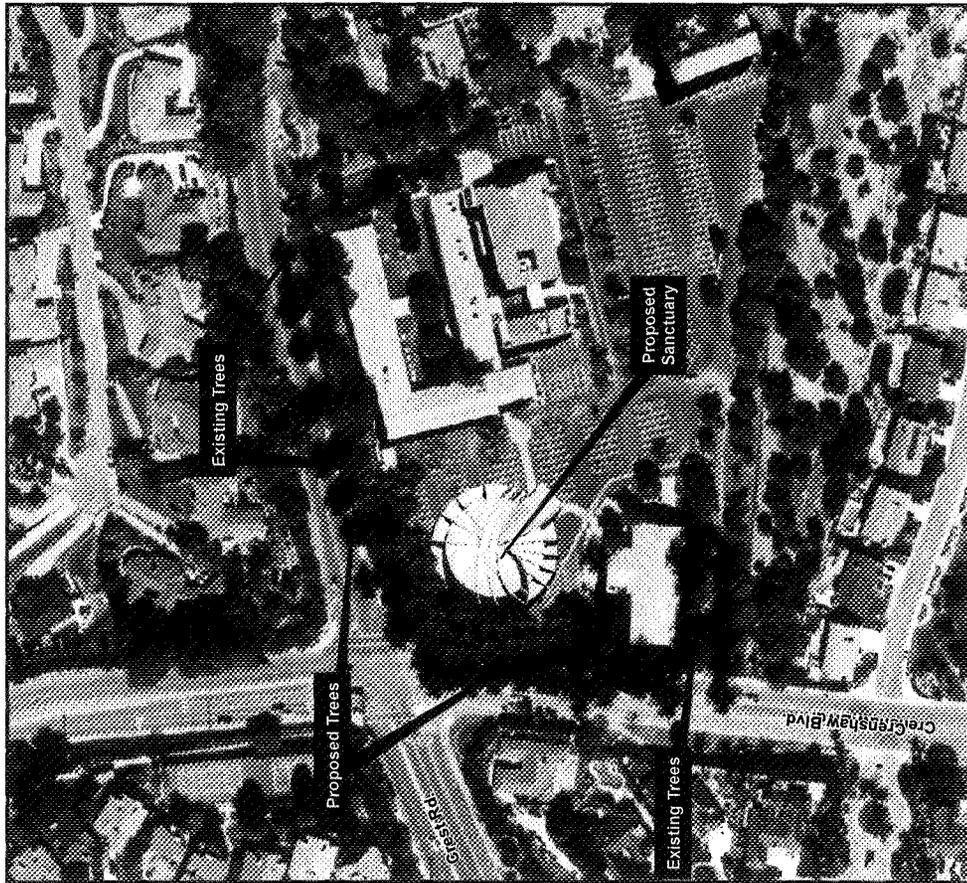
9am

FIGURE
5

St. John Fisher Church - Shadow Study
Winter Solstice Shadows - Buildings Only



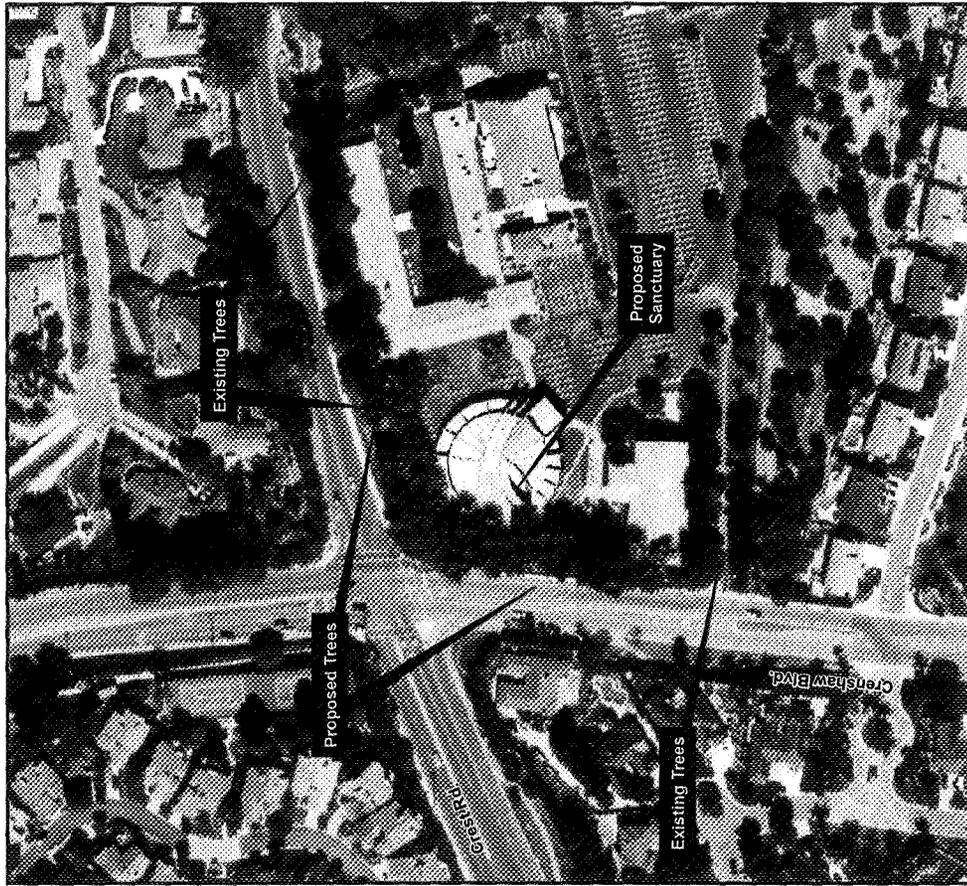
3pm



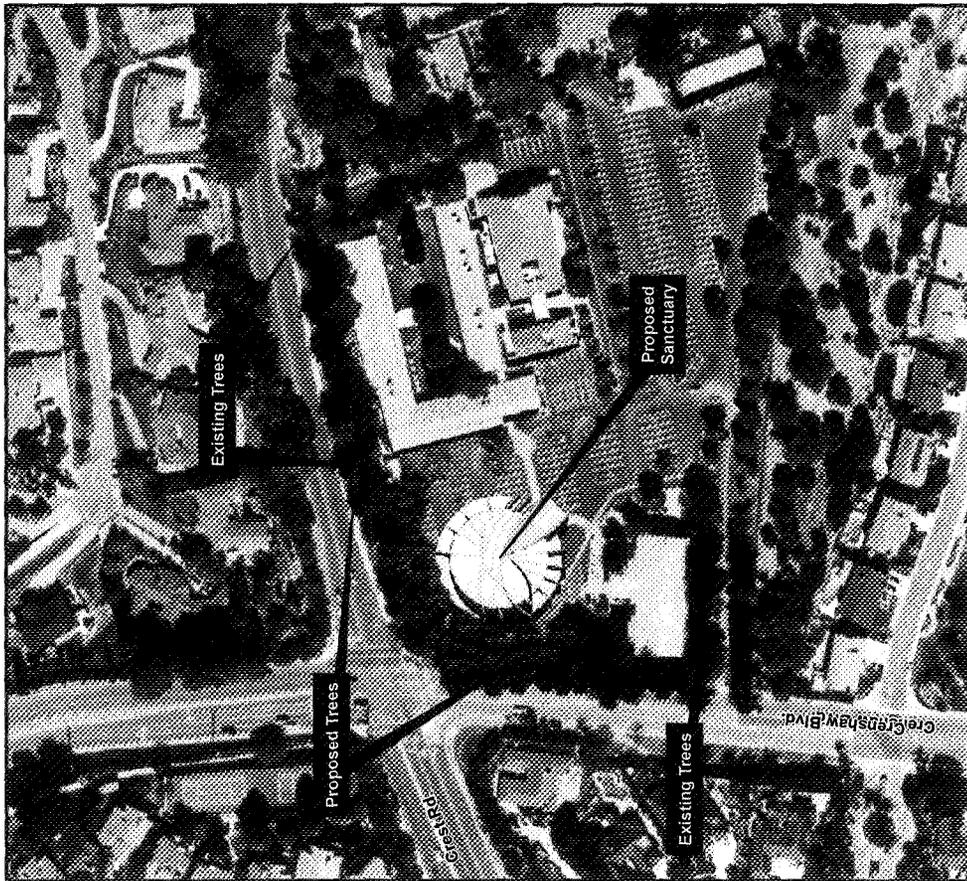
9am

FIGURE
6

St. John Fisher Church - Shadow Study
Spring and Fall Equinox Shadows - Buildings and Landscaping



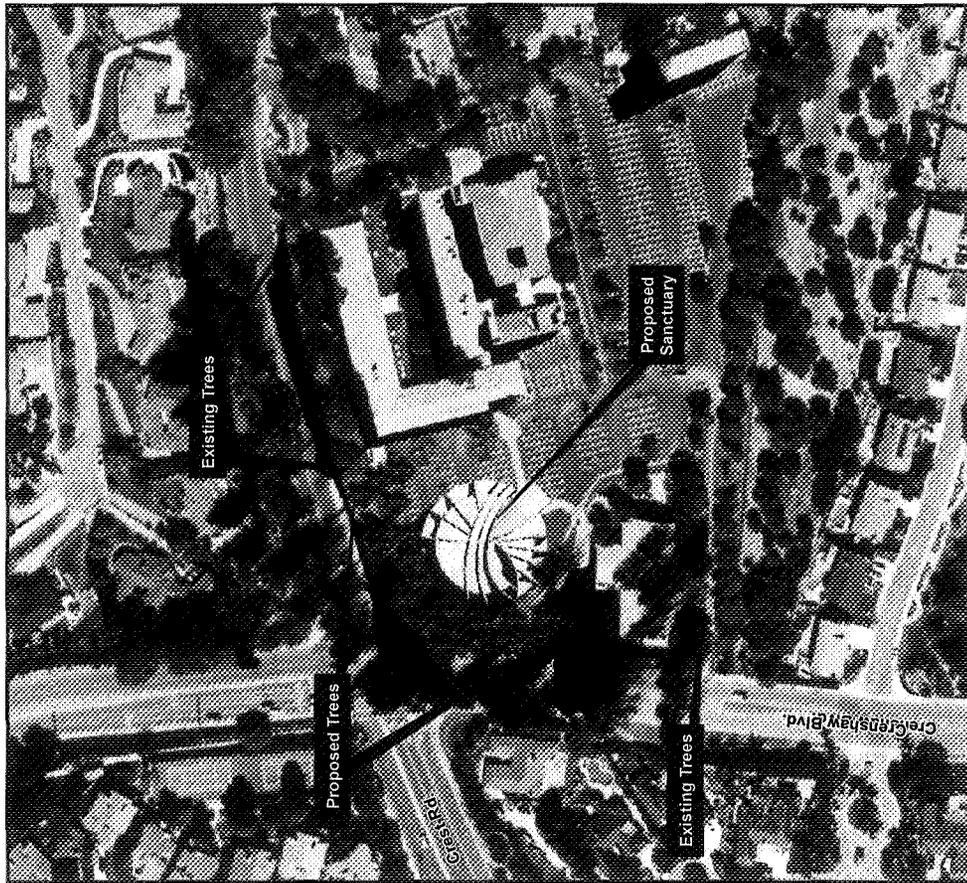
3pm



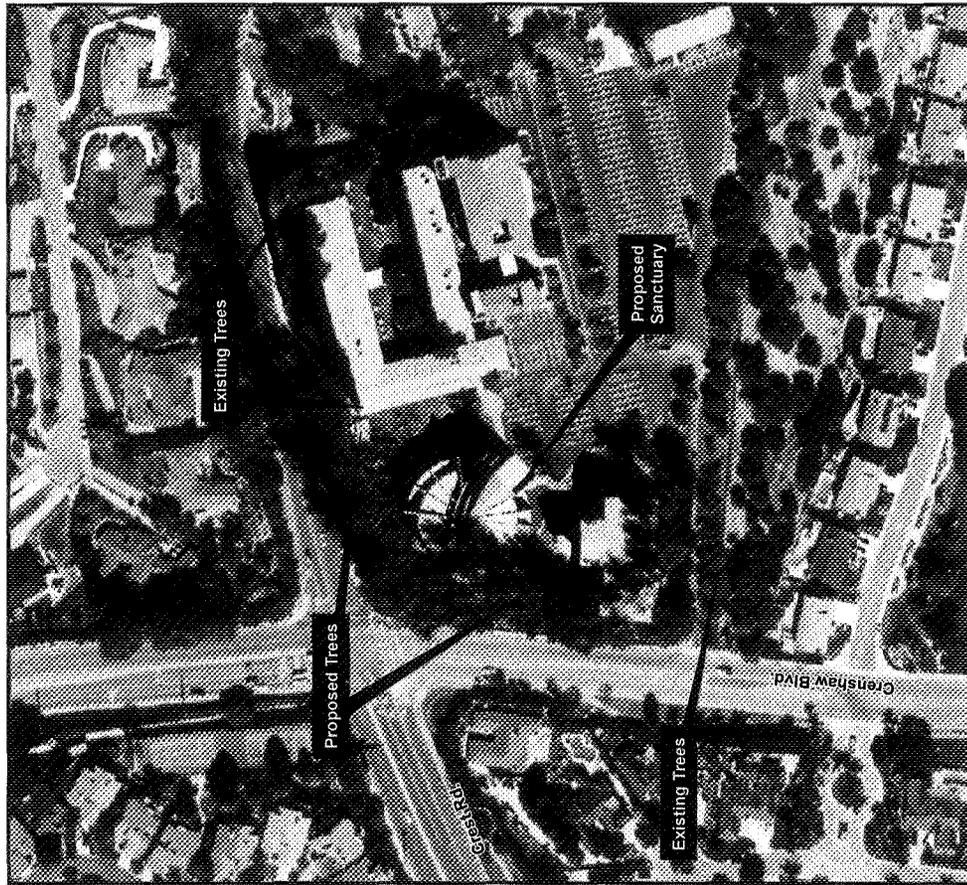
9am

FIGURE
7

St. John Fisher Church - Shadow Study
Summer Solstice Shadows - Buildings and Landscaping



9am



3pm

FIGURE
8

St. John Fisher Church - Shadow Study
Winter Solstice Shadows - Buildings and Landscaping

SUPPLEMENTAL PARKING DATA

(Includes Additional Seasonal and
Peak Parking Areas)

**St. John Fisher Catholic Church
5448 Crest Road**

Supplemental Parking Data

Historical Parking Count Data and Analysis

Added Parking for Seasonal and Peak Hour Uses

Comparative Parking Data from other Churches

General: This supplemental parking data is provided in response to comments made and discussions in public hearings and is intended to supplement the parking tables found in the project drawings sheet A0.9 and the parking calculation table found on sheet A0.0 in the project drawings.

St. John Fisher Historical Parking Counts

General:

The following represents counts taken at the church over the past 4 months on Sundays at peak times which demonstrate a pattern of large numbers of un-used spaces in the existing parking lot. For reference, the parking tables submitted with the project CUP application on sheet A0.9 used the same peak hour times to arrive at the required parking of 331 spaces.

Date Sunday Peak Hour	9:30 AM Time of Count Taken Number of Empty Parking Spaces	11:15 AM Time of Count Taken Number of Empty Parking Spaces
6/22/08	153	163
6/29/08	163	Not taken
7/13/08	Not Taken	139
7/20/08	Not Taken	109
7/27/08	188	144
8/3/08	Not Taken	168
8/31/08	178	181
9/7/08	122	84 Time & Talent Festival Event
9/14/08	158	116

Conclusions:

Parking for Normal Sunday Peak Hour uses using Historical Data Methodology

359 Existing Spaces including play area in parking
 -109 Historical Spaces not used at Maximum normal usage

 250 Spaces Used
 +73 Additional spaces required for increase in sanctuary from 650 to 870 seats
 (870-650=220 added seats/3 seats per parking space per RPV code 17.50.020=73 added)
 323 Spaces Required using Historical Data Methodology, 331 provided

Parking for Normal Sunday Peak Hour uses using Historical Data Methodology with Seasonal Event

359 Existing Spaces including play area in parking
 -84 Spaces not used at Peak Sunday hour with Seasonal Event such as 9/7/08 above

 275 Spaces Used
 +73 Additional spaces required for increase in sanctuary from 650 to 870 seats
 (870-650=220 added seats/3 seats per parking space per RPV code 17.50.020=73 added)
 348 Spaces Required using Historical Data Methodology with Seasonal Event
 (note: Time & Talent Festival is recruiting of volunteers for ministries and charities)
 For seasonal or peak parking requirements an additional 61 spaces of turf parking will be made available as outlined on the following pages bringing the available parking to 392 spaces.

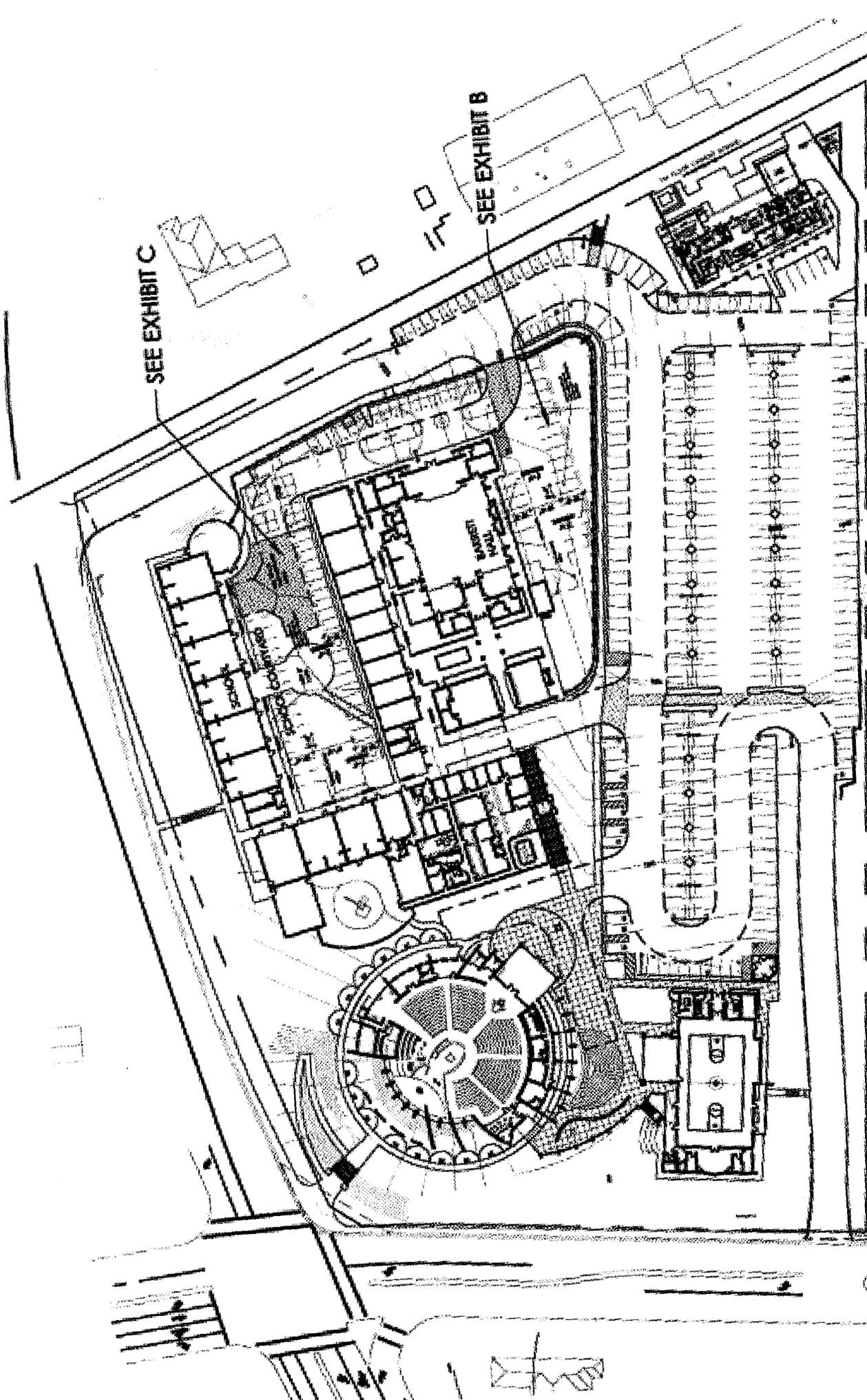
St. John Fisher Turf Area & Overflow Parking

General:

The following plan diagrams labeled Exhibit A, B, and C, represent additional turf parking areas that comply with RPV code section 17.50.040 (I. Seasonal or Peak Parking Areas). These parking areas will be planted in turf of a wear resistant type with provisions made for irrigation and maintenance of the turf as required by the referenced code section. These areas will be made available for all seasonal or peak parking requirements only on a periodic basis such as seasonal or once a week. The required parking for regular uses based on data shown on project drawing sheet A0.9 for scheduled uses is summarized as follows:

290	Spaces for 870 seats in sanctuary based on RPV code section 17.50.020 table 50-A 1 space for every 3 permanent seats
38	Spaces for Religious Education Classes concurrent with peak hour masses per RPV code section 17.50.020 table 50-A 2 spaces for each classroom x 19 classrooms
3	Spaces for Rectory/Priest's Residence
<hr/>	
331	Total Spaces + 3 loading spaces
61	Spaces provided for Overflow on turf
392	TOTAL SPACES AVAILABLE

In addition to the provisions made available for turf parking on-site, we have also attached a letter written by the Daughters of Mary and Joseph expressing their willingness to share their parking area with us for seasonal and peak parking demands. Although the city's traffic engineer and city staff have recommended approval of our originally proposed parking, we would like to fully address the commissioner's concerns which we believe are addressed in the turf parking solution. We prefer the on-site turf parking area solution to addressing the parking concerns over entering into a more cumbersome formal joint-use agreement with the Daughters of Mary and Joseph. Notwithstanding this decision, the Daughter's of Mary and Joseph parking areas will remain open to our shared use on an informal basis.



SEE EXHIBIT C

SEE EXHIBIT B

EXHIBIT A

SCALE: 1"=100'-0"

ST JOHN FISHER REFERENCE SITEPLAN
TURF PARKING AREAS = 61 SPACES TOTAL

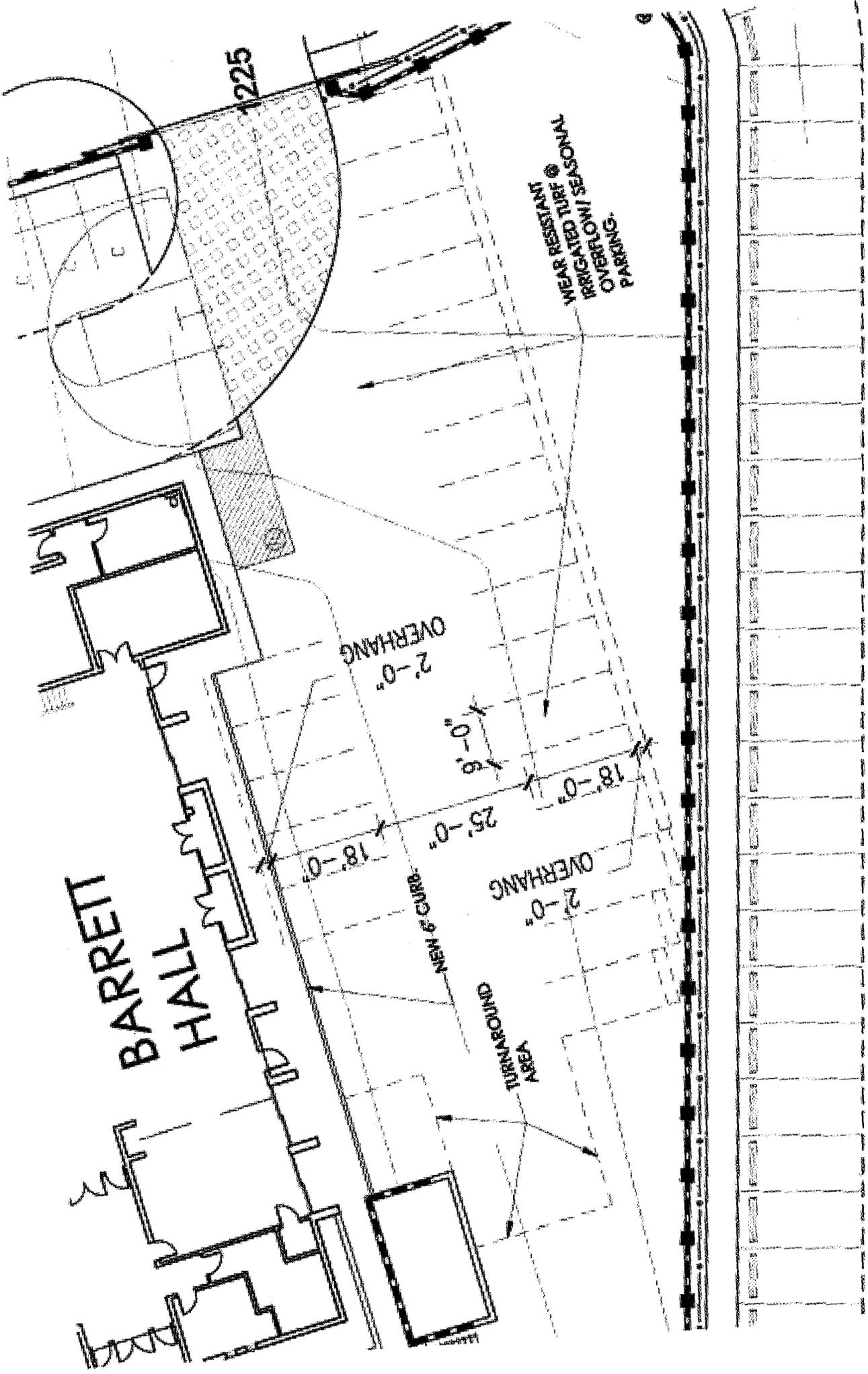


EXHIBIT B

**ST JOHN FISHER
OVERFLOW PARKING IN SCHOOL PLAY AREA TURF**

23 PARKING SPACES

SCALE: 1"=20'-0"

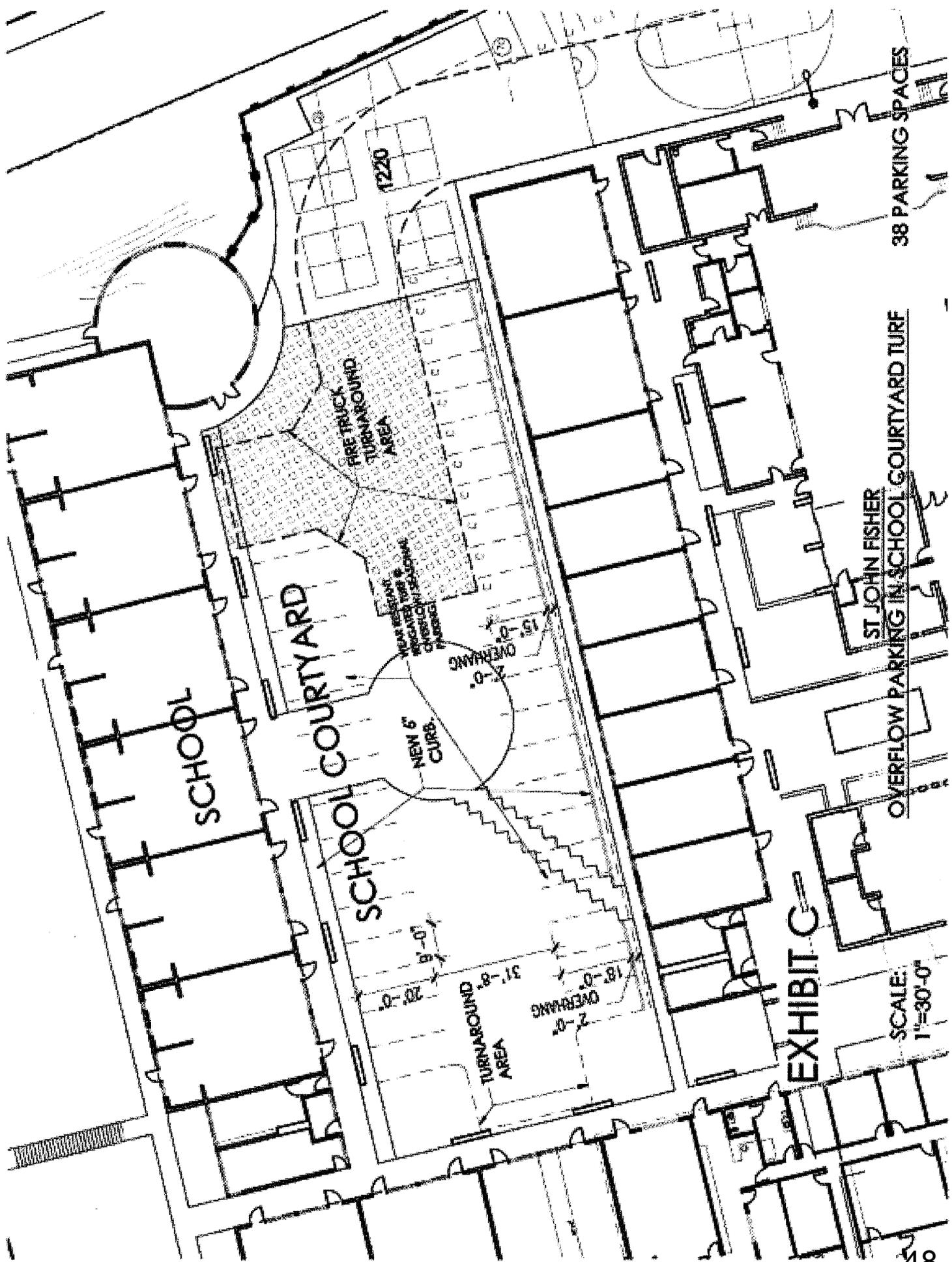
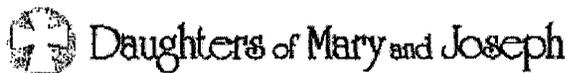


EXHIBIT C

SCALE: 1"=30'-0"



Regional Offices
5300 Crest Road, Rancho Palos Verdes, CA 90275-5004

July 14, 2008
Ms. Leza Mikhail, Assistant Planner
City of Rancho Palos Verdes Planning Department
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275

RE: Conditional Use Permit, Grading Permit, Environmental Assessment
Sign Permit, Minor Exception Permit
Case No. ZON2007-00492
Shared Parking

Dear Leza,

We are the property owners directly east of the St. John Fisher Church property. First and foremost, our letter of September 15, 2007, written in support of the project, still reflects our feelings and we are hopeful the project will be approved by the planning commission.

We are writing this letter to inform you that we have discussed providing a shared parking arrangement with St. John Fisher Church whenever the need arises for extra parking spaces. We understand that the church has provided a parking analysis demonstrating that all parking needs are met with the proposed parking on site. Based on our experience of walking through the church parking lot over the years to attend Masses, we agree with the church that the existing parking lot is never full other than at Christmas and Easter and that the new proposed parking will be more than adequate.

Notwithstanding this, apparently there has been public comment that the proposed church parking will be inadequate. While we do not agree with these comments, we would like to assist the church in addressing this concern. We currently have approximately 100 spaces in our parking lot. In the spirit of good neighborliness, we are open to sharing our parking spaces with the church. We already have a mutual arrangement in this regard. We would be happy to formalize an agreement should that be necessary for the church to obtain final approval.

Thank you,

Sister Nuala Briody
Sister Nuala Briody, Regional Administrator

Similar Projects Comparative Parking

General:

The following list of projects provides additional similar projects with previously issued discretionary permits and verifiable parking approved relative to uses and square footages. The intent of this summary is to validate the methodology used to establish the St. John Fisher required parking by establishing a pattern of church projects approved with parking provisions that are tied almost solely to the number of seats in the sanctuary as is consistent with the St. John Fisher approach and as was recommended for approval by city staff and the city's traffic engineer.

1 St. Peters by the Sea Presbyterian Church
Rancho Palos Verdes, CA

Seating in Sanctuary 500 (500/3 seats per parking space=167 spaces)
8,400 sf Sanctuary
3,000 sf Preschool
1,475 sf Fireside Room
5,750 sf Classrooms & Administration

180 parking spaces provided (leaves 13 for uses other than sanctuary seating)

2 Ascension Lutheran Church
Rancho Palos Verdes, CA

Seating in Sanctuary 220 (220/3 seats per parking space=73 spaces)
3,025 sf Sanctuary
1,000 sf Administration
360 sf Classrooms/Nursery
4,200 sf Preschool
3,050 sf Social Hall

86 Parking spaces provided (leaves 13 for uses other than sanctuary seating)

3 St. Gregory the Great Catholic Church
11451 Blue Cypress Drive, Scripps Ranch, CA

Seating in Sanctuary 858 (858/3 seats per parking space=286 spaces)
16,016 sf Sanctuary
3,340 sf Chapel
4,725 sf Administration/Pastoral Center
9,950 sf Parish Center/Social Hall
3,250 sf Youth/Daycare

283 Parking spaces provided (leaves zero for other uses than sanctuary seating)

CUP # C21459, Issued August 6, 1997. City of San Diego

- 4 St. Gregory the Great Catholic Community Center**
15315 Stonebridge Parkway, Scripps Ranch, CA
- 5,508 sf Chapel
7,477 Library & Administration
25,148 sf Assembly Multi-Purpose/Gymnasium
32,000 sf K-8 Parochial School
- 244 Parking spaces provided (governed by largest assembly building on site Gym only)
- CUP # 279200 PDP 279201 Issued November 16, 2006, City of San Diego
- 5 St. William of York Catholic Church (now St. Therese of Carmel)**
Carmel Valley, CA
- Seating in Sanctuary 999 (999/3 seats per parking space=333 spaces)
17,000 sf Sanctuary
15,000 sf Social Hall
32,432 sf K-8 Parochial School + Preschool
6,560 sf Parish Center
1,280 sf Administration
- 343 Parking spaces provided (leaves 10 spaces for other uses than sanctuary seating)
- Site Development Permit SDP #5908, Issued January 28, 2003, City of San Diego
- 6 St. Stanislaus Catholic Church**
Modesto, CA
- Seating in Sanctuary 1300 (1300/4 seats per parking space req'd=325 spaces)
27,200 sf Sanctuary
27,800 sf Ministries Center w/administration, social hall, youth
- 362 Parking spaces provided (leaves 37 spaces for other uses than sanctuary seating, note 1 per 4 seats rather than 1 per 3 however=less parking)
- PDP Discretionary Permit #571 Resolution #2005 March 8, 2005, City of Modesto
- 7 Our Lady Queen of Angels Catholic Church**
Alpine, CA
- Seating in Sanctuary 740 (740/4 seats per parking space req'd=185 spaces)
16,120 sf Sanctuary
7,200 sf Administration
22,000 sf Social Hall
- 227 Parking spaces provided (leaves 42 spaces for other uses than sanctuary seating, note 1 per 4 seats rather than 1 per 3 however=less parking)
- MUP Discretionary Permit #P-83-954W, December 5, 2007 , County of San Diego

- 8 St. Vincent de Paul Catholic Church**
Huntington Beach, CA
- Seating in Sanctuary 829 (829/3 seats per parking space =276 spaces)
12,275 sf Sanctuary
6,560 sf Administration + meeting rooms
9,474 sf Social Hall
5,600 sf Priest's Residence
- 276 Parking spaces provided (leaves zero spaces for other uses than sanctuary seating)
- Entitlement Plan Amendment #99-01, August 24, 1999, City of Huntington Beach
- 9 Visalia United Methodist Church**
Visalia, CA
- Seating in Sanctuary 1200 (1200/4 seats per parking space req'd =300 spaces)
25,000 sf Sanctuary
3,600 sf Administration
9,000sf Social Hall
18,000 sf School
- 400 Parking spaces provided (leaves 100 spaces for other uses than sanctuary seating, note 1 per 4 seats rather than 1 per 3 however=less parking)
- CUP #90-38, June 3, 1991, City of Visalia
- 10 St. Mark Presbyterian Church**
Newport Beach, CA
- Seating in Sanctuary 386 (386/3 seats per parking space req'd =129 spaces)
10,169 sf Sanctuary
3,550 sf Administration
7,603 sf Social Hall
3,608 sf Preschool
5,183 sf expansion meeting rooms
1,002 sf Fireside Room
- 202 Parking spaces provided (leaves 73 spaces for other uses than sanctuary seating, note campus was split by large canyon separating into north and south campus thus parking had to be provided in excess of 1 per 3 seats in sanctuary due to site features)
- CUP #2003-015, General Plan Amend #2003-002, City of Newport Beach

**LETTER FROM ADJACENT
NEIGHBOR**
(Daughters of Mary and Joeseeph)



Daughters of Mary and Joseph

Regional Offices

5300 Crest Road, Rancho Palos Verdes, CA 90275-5004

July 14, 2008

Ms. Leza Mikhail, Assistant Planner
City of Rancho Palos Verdes Planning Department
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275

RE: Conditional Use Permit, Grading Permit, Environmental Assessment
Sign Permit, Minor Exception Permit
Case No. ZON2007-00492
Shared Parking

Dear Leza,

We are the property owners directly east of the St. John Fisher Church property. First and foremost, our letter of September 15, 2007, written in support of the project, still reflects our feelings and we are hopeful the project will be approved by the planning commission.

We are writing this letter to inform you that we have discussed providing a shared parking arrangement with St. John Fisher Church whenever the need arises for extra parking spaces. We understand that the church has provided a parking analysis demonstrating that all parking needs are met with the proposed parking on site. Based on our experience of walking through the church parking lot over the years to attend Masses, we agree with the church that the existing parking lot is never full other than at Christmas and Easter and that the new proposed parking will be more than adequate.

Notwithstanding this, apparently there has been public comment that the proposed church parking will be inadequate. While we do not agree with these comments, we would like to assist the church in addressing this concern. We currently have approximately 100 spaces in our parking lot. In the spirit of good neighborliness, we are open to sharing our parking spaces with the church. We already have a mutual arrangement in this regard. We would be happy to formalize an agreement should that be necessary for the church to obtain final approval.

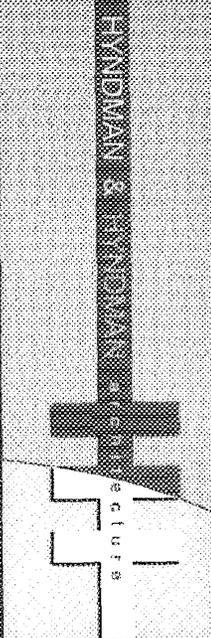
Thank you,

Sister Nuala Briody
Sister Nuala Briody, Regional Administrator

MODEL PHOTOGRAPH



St John Fisher Catholic Community
September 2008
Presentation Model



ADDITIONAL PUBLIC CORRESPONDENCE

SEP 17 2008

Greetings, Neighbors:

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Palos Verdes and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

PLANNING, BUILDING AND CODE ENFORCEMENT

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant is requesting to position the new sanctuary on its 9-acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw, where the 74-ft. height of the building would be added to a building pad that is already 15 to 20 ft. above the Crenshaw street level. At this location, the building would have a very prominent presence to be seen by all travelling along Crest Rd. and Crenshaw Blvd. and would loom over residences directly across the street in the Island View - where building pads are 10 feet or more below the Crenshaw street level, further exacerbating the appearance of height, bulk and mass of the structure. The dimensions of the structure and its positioning at the corner are inconsistent with RPV norms of neighborhood compatibility and maintaining the rural and open character of the community (as stated in the City's General Plan), especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the most scenic areas of open space and major trails in the City as well as rural Rolling Hills.

2. The adequacy of parking. The City's General Plan and Development Code require that adequate off-street parking be provided for all existing and future development. The Applicant seeks to **increase** the seating capacity of its sanctuary from 650 to 870, while **decreasing** the on-site parking from 359 spaces to 331. The existing parking space is barely adequate for the current use of the site and parking occasionally spills onto Crenshaw and neighboring residential streets. A reduction in on-site parking spaces, while increasing the capacity of the sanctuary, would undoubtedly exacerbate neighboring street parking problems.

3. Noise. The City's General Plan says that the policies of the City are to provide for a quiet and serene residential community, to control community noise to assure an environment free of unnecessary noise, and to regulate land use so that there is a minimal degree of noise impact on adjacent land uses. The Applicant has proposed to ring bells several times during the day, seven days a week, plus after weddings and funerals. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

Please add other comments or concerns you may have:

There has not been adequate information of this project to the neighboring community - this needs to be corrected before anything is done with this project

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, Building and Code Enforcement, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the RPV Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Kim Van Biear 21, OCEAN AIRE DR. RPV (DEL CERRO)
(Name) KIM VAN BIEAR (Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (by Sept. 16, 2008, if possible)

RECEIVED

SEP 17 2008

LAW OFFICES OF
ROBERT J. REAMER
A PROFESSIONAL CORPORATION
DEL AMO FINANCIAL CENTER
21535 HAWTHORNE BOULEVARD, SUITE 390
TORRANCE, CALIFORNIA 90503
TELEPHONE (310) 792-3777
FACSIMILE (310) 792-3785

PLANNING, BUILDING AND
CODE ENFORCEMENT

September 16, 2008

Ms. Leza Mikhail
Rancho Palos Verdes Planning Commission
30940 Hawthorne Boulevard
Rancho Palos Verdes, California 90275

RE: St. John Fisher Church Building Application
Our File No: H08001

Dear Ms. Mikhail:

I am writing to urge approval of the church building project of St. John Fisher Catholic Church. My wife and I have been parishioners of St. John Fisher Church for 25 years and, while we now reside in Palos Verdes Estates, we previously resided in the Villa Verde development across the street from St. John Fisher Church. I have reviewed the Church's plans for our new church and have followed the news reports on the City hearings on the project. It seems to me that the Church has gone the extra mile to accommodate the concerns of its neighbors and the City with regard to the planned new church. The project's height, shadow, sound and silhouette have all been shown to have minimum, if any, impact on the surrounding area. There will be no "use" change at all since the current number of parishioners will remain constant. I know, from having resided there for 4 years, that only a handful of Villa Verde residents can even see the church property from their homes.

St. John Fisher Church has been a good neighbor for decades, benefitting the City by its presence. We wish to continue that tradition in our new church. I urge the Planning Commission and City Council to allow the project to proceed at once.

Very truly yours,

LAW OFFICES OF ROBERT J. REAMER


ROBERT J. REAMER

RJR:hh

cc: St. John Fisher Church

RECEIVED

SEP 17 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

September 16, 2008

Dear Ms Miklail,

When my husband and I moved to Palos Verdes in 1960, there was very little in the way of development compared to what we have now. But we were realistic enough to know that this development was just over the horizon. We did not assume that "the Hill" would stay just the way it was when we moved in.

As more people arrived, it was obvious that these folks were going to need places to live, to shop, to educate their children, and (I dare I say it?) to worship. As the population grew, so did the number of stores, schools, places of entertainment, and churches.

Since St. John Fisher is the

Only Roman Catholic Church on the peninsula, the parish membership has grown to reflect this population increase. And since the parish population has grown there is a resulting increase in the spiritual and practical needs of the church membership.

Certainly every effort should be, and has been, made to accommodate the legitimate concerns of our neighbors. The fact remains that the Church has the right and responsibility to answer these needs. I hope you will agree.

Sincerely
Joan Alice Valdes, parishoner

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Wednesday, September 17, 2008 11:56 AM
To: 'Leza Mikhail'
Subject: FW: SJF

From: fritz baumgartner [mailto:f.baumgartner@earthlink.net]
Sent: Tuesday, September 16, 2008 9:44 PM
To: pc@rpv.com
Subject: SJF

AMDG

Fritz Baumgartner,MD
Rancho Palos Verdes, CA
14 Sep 2008

TO: RPV PLANNING COMMISSION
RE: SJF DEVELOPMENTAL PROJECT

Our family has been a part of Rancho Palos Verdes for many years. We are parishioners of St. John Fisher Church and our children attend St John Fisher School. My parents immigrated from Switzerland and Germany and my wife from Russia, and as immigrants the constant belief was that this was a fair and honest country where legitimate opportunity could be achieved by anyone, without the bias of prejudice.

We now have an instance where the legitimate opportunity for St. John Fisher to improve its circumstances is being blocked. St John Fisher is a tremendous asset to the community of Rancho Palos Verdes, producing outstanding, caring graduates who are willing to give back to the community.

Some of the criticisms raised seem almost whimsical. The church steeple as a problem? Why? There is no view of the ocean to be blocked! And it goes on and on. I, and others, have an increasing sense that it is not the steeple itself which is the issue, but what is displayed atop the steeple the cross of Christ. Is it akin to the ACLU bullying the city of Los Angeles in erasing the tiny little cross from the city seal, thereby denying the true history of California? One has to wonder.

I wholeheartedly support the parish of St. John Fisher in its rebuilding program, and hope the city of Rancho Palos Verdes will act fairly and respectfully in allowing the parish and its parishioners and schoolchildren to fulfill their dream.

Sincerely,

Fritz Baumgartner,MD
Clinical Assistant Professor of Surgery
UCLA School of Medicine
Division of Cardiothoracic Surgery, Harbor-UCLA Medical Center
Vascular Surgery Associates, Los Alamitos

Natalia Baumgartner
Homemaker, Rancho Palos Verdes

fritz baumgartner
f.baumgartner@earthlink.net
Why Wait? Move to EarthLink.

September 16, 2008

Mr. Joel Rojas
Director of Planning, Building and Code Enforcement
City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275

Dear Mr. Rojas:

Re: Proposed Building Project by St. John Fisher Church

I own the house located at 35 Oceanaire Drive, Rancho Palos Verdes, CA 90275 in the Del Cerro Park community. Please direct all future notices regarding this matter to me at 4718 Halbrent Avenue, Sherman Oaks, CA 91403 and/or at this e-mail address.

This letter expresses my concerns, set forth below, regarding the proposed building project by St. John Fisher Church (The Applicant). I ask the RPV Planning Department and Planning Commission to work with the Applicant to develop a plan that would allow the Applicant to build their improvements in a way that addresses the issues stated below and is compatible with the surrounding community.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant is requesting to position the new sanctuary on its 9-acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw, where the 74-ft. height of the building would be added to a building pad that is already 20 ft. above the Crenshaw street level. At this location, the building would have a very prominent presence to be seen by all travelling along Crest Rd. and Crenshaw Blvd. and would loom over residences directly across the street in the Island View - where building pads are 10 feet or more below the Crenshaw street level, further exacerbating the appearance of height, bulk and mass of the structure. The dimensions of the structure and its positioning at the corner are inconsistent with RPV norms of neighborhood compatibility and maintaining the rural and open character of the community (as stated in the City's General Plan), especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the most scenic areas of open space and major trails in the City as well as rural Rolling Hills.

2. The adequacy of parking. The City's General Plan and Development Code require that adequate off-street parking be provided for all existing and future development. The Applicant seeks to **increase** the seating capacity of its sanctuary from 650 to 870, while **decreasing** the on-site parking from 359 spaces to 331. The existing parking space is barely adequate for the current use of the site and parking occasionally spills onto Crenshaw and neighboring residential streets. A reduction in on-site parking spaces, while increasing the capacity of the sanctuary, would undoubtedly exacerbate neighboring street parking problems.

3. Noise. The City's General Plan says that the policies of the City are to provide for a quiet and serene residential community, to control community noise to assure an environment free of unnecessary noise, and to regulate land use so that there is a minimal degree of noise impact on adjacent land uses. The Applicant has proposed to ring bells several times during the day, seven days a week, plus after weddings and funerals. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

Truly yours,

Lauren M. Yu

IMPORTANT INFORMATION IN REGARD TO THE ST. JOHN FISHER DEVELOPMENT PROJECT

Greetings, Neighbors:

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant is requesting to position the new sanctuary on its 9-acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw, where the 74-ft. height of the building would be added to a building pad that is already 20 ft. above the Crenshaw street level. At this location, the building would have a very prominent presence to be seen by all travelling along Crest Rd. and Crenshaw Blvd. and would loom over residences directly across the street in the Island View - where building pads are 10 feet or more below the Crenshaw street level, further exacerbating the appearance of height, bulk and mass of the structure. The dimensions of the structure and its positioning at the corner are inconsistent with RPV norms of neighborhood compatibility and maintaining the rural and open character of the community (as stated in the City's General Plan), especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the most scenic areas of open space and major trails in the City as well as rural Rolling Hills.

2. The adequacy of parking. The City's General Plan and Development Code require that adequate off-street parking be provided for all existing and future development. The Applicant seeks to **increase** the seating capacity of its sanctuary from 650 to 870, while **decreasing** the on-site parking from 359 spaces to 331. The existing parking space is barely adequate for the current use of the site and parking occasionally spills onto Crenshaw and neighboring residential streets. A reduction in on-site parking spaces, while increasing the capacity of the sanctuary, would undoubtedly exacerbate neighboring street parking problems.

3. Noise. The City's General Plan says that the policies of the City are to provide for a quiet and serene residential community, to control community noise to assure an environment free of unnecessary noise, and to regulate land use so that there is a minimal degree of noise impact on adjacent land uses. The Applicant has proposed to ring bells several times during the day, seven days a week, plus after weddings and funerals. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

Please add other comments or concerns you may have:

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, Building and Code Enforcement, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the RPV Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

____Lynda Heran____ _Del Cerro____
(Name) (Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (not later than Sept. 16, 2008)

Leza Mikhail

From: ironduke2@verizon.net
Sent: Wednesday, September 17, 2008 2:47 PM
To: LezaM@rpv.com
Subject: Saint John Fisher Building Project

The proposed structure is indeed a real plus to the beautification of our Peninsula!

As a 31 year resident, I cannot recall a single building project that adds more in terms of a significant upgrade; accordingly, I look forward to your approval.

Joseph C Wellington
7213 Rue La Fleur
Rancho Palos Verdes

Leza Mikhail

From: Bill Stein [bstein1946@yahoo.com]
Sent: Wednesday, September 17, 2008 4:25 PM
To: LezaM@rpv.com
Subject: St. John Fisher Project

Hi Leza-

My name is Bill Stein and I am an RPV resident living at 28325 Lunada Ridge Drive.

I am planning to attend next Tuesday's Planning Commission meeting and speaking on the St. John Fisher project. In order to prepare, I have reviewed the video and minutes of the Commission's July 22 meeting as well as the staff report dated dated July 22.

Have there been or will there be any subsequent staff reports prior to the Commission's September 23 meeting and when will I be able to access them on the RPV website?

Thanks.

Bill Stein
(310) 377-5648

Leza Mikhail

From: Lenée Bilski [lenee910@intergate.com]
Sent: Tuesday, September 16, 2008 3:42 PM
To: PC@rpv.com
Cc: L. Bilski
Subject: St John Fisher project - Sept. 23rd,2008 Agenda

Dear Planning Commissioners,

I am writing in support of the proposed St. John Fisher building project.

There have been a lot a false statements about this project in letters submitted to the city and to the local newspaper. This is unfortunate, but I trust the the members of the Planning Commission realize the falacies and disregard them, and will make the decision based on the facts.

The proposed church building is a beautiful, stately design which meets the city's development codes and regulations, and which will provide much needed improvements to the SJF Parish facility. Pastor Msgr. Sork met with some of the neighbors prior to the June 24th public hearing to explain the project and to answer their questions.

It is my understanding that the reason that the public hearing was continued from July 22nd to Sept. 23rd is because of a Public Records Request for communications documents made by those in opposition to the project. This is an unfortunate delay of the decision making process.

However, the parish has used the time since July 22nd to provide additional data and studies, and voluntarily built a 3-dimensional model (prepared to scale at great expense) showing not only the SJF project but also the nearby properties, to supplement the existing drawings and plans. The parish also planned three (3) informational meetings/tours on the site for the neighbors sending individual invitations to each home in the nearby Homeowners Association. You will be given the attendance count at the hearing.

I was shocked by some of the disrespectful comments and accusations of those speaking in opposition to the project at the July 22nd Planning Commission public hearing.

Even though the project as proposed could have been approved as presented, that original project - which serves a parish of 3,000+ families - was revised and downsized after the June 24th hearing to answer the concerns of a few people.

Therefore, in all fairness, since the neighborhood concerns and Commissioners' concerns have been addressed by the revision, the additional studies, and the on-site information sessions, the development should be permitted to proceed without further changes and certainly without further delay. As you know, construction scheduling can be a time-sensitive matter, especially when there is a parish school schedule to take into consideration !

While a few people may not like this proposed development, members of the St. John Fisher parish community contribute much to the city of Rancho Palos Verdes. This building project will enhance the city as well as better serve the needs of St. John Fisher Parish. The applicant has modified the original project and done everything

to answer the concerns and questions of the Planning Commissioners and the public,

Please do not delay, make your decision on Sept. 23rd and please vote in favor of the St. John Fisher proposed project .

Thank you for all you do for RPV!

Sincerely,

Lenée Bilski
RPV resident

This message was sent using IMP, the Internet Messaging Program.

Leza Mikhail

From: Del McCormick [dmccormick@sjf.org]
Sent: Wednesday, September 17, 2008 8:47 AM
To: dtomblin@sbcglobal.com
Cc: LezaM@rpv.com
Subject: St. John Fisher Building project

September 17, 2008

Mr. Dave Tomblin:

I am Adele G. McCormick and I am a resident of Rancho Palos Verdes . I am in favor of the St. John Fisher Building Project.

The need is great as St. John Fisher Parish has many charitable outreach ministries it supports and in order to continue to

help the poor and less fortunate, the parish facilities need to be expanded. We are adding more space to carry our work –

not more people, so claims that we need additional parking or we will increase traffic in the neighborhood are bogus claims.

Also, the parish school has issues that need addressing – for the safety of the children. Again, we simply are adding more

space to the school facilities. In order to accomplish this and improve our worship space, it is necessary to re-configure and

add to our present facilities without requiring additional parking or traffic to the neighborhood.

Thank you for your time and for your service to the city of RPV.

Adele G. McCormick
28209 Ridgethorpe Court
Rancho Palos Verdes, CA 90275

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

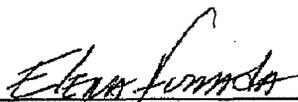
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

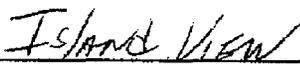
Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.



(Name)



(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

the height, mass and location of the sanctuary are grossly oversized and not in keeping with the neighborhood or city code requirements!

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

[Handwritten signature]

B. Bergsteinsson
(Name)

55 Santa Barbara Dr
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.
2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

RECEIVED

SEP 17 2008

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

PLANNING, BUILDING AND
CODE ENFORCEMENT

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Lacy Lazarus
(Name)

5380 Valley View Rd
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.
2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

RECEIVED

SEP 17 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Mark & Dewanna Sharp 5408 Valley View Road, RPV
(Name) (Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST. JOHN FISHER DEVELOPMENT PROJECT

SEP 16 2008

Greetings, Neighbors:

PLANNING, BUILDING AND CODE ENFORCEMENT

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Palos Verdes and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant is requesting to position the new sanctuary on its 9-acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw, where the 74-ft. height of the building would be added to a building pad that is already 15 to 20 ft. above the Crenshaw street level. At this location, the building would have a very prominent presence to be seen by all travelling along Crest Rd. and Crenshaw Blvd. and would loom over residences directly across the street in the Island View - where building pads are 10 feet or more below the Crenshaw street level, further exacerbating the appearance of height, bulk and mass of the structure. The dimensions of the structure and its positioning at the corner are inconsistent with RPV norms of neighborhood compatibility and maintaining the rural and open character of the community (as stated in the City's General Plan), especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the most scenic areas of open space and major trails in the City as well as rural Rolling Hills.

2. The adequacy of parking. The City's General Plan and Development Code require that adequate off-street parking be provided for all existing and future development. The Applicant seeks to **increase** the seating capacity of its sanctuary from 650 to 870, while **decreasing** the on-site parking from 359 spaces to 331. The existing parking space is barely adequate for the current use of the site and parking occasionally spills onto Crenshaw and neighboring residential streets. A reduction in on-site parking spaces, while increasing the capacity of the sanctuary, would undoubtedly exacerbate neighboring street parking problems.

3. Noise. The City's General Plan says that the policies of the City are to provide for a quiet and serene residential community, to control community noise to assure an environment free of unnecessary noise, and to regulate land use so that there is a minimal degree of noise impact on adjacent land uses. The Applicant has proposed to ring bells several times during the day, seven days a week, plus after weddings and funerals. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

Please add other comments or concerns you may have:

Because we were "blind-sided by this plan, this is only a partial list of our concerns. We plan to be at the Commission meeting.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, Building and Code Enforcement, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the RPV Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Barbara Walsh
(Name)

Oceanate - Del Cerro
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (by Sept. 16, 2008, if possible)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

SEP 16 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

Our primary concerns are The mass + height of the new structure at 60ft the Tower looms 50% higher than current building and at 74ft the Cross Tops out at 90% higher than current.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

The proposed bells are also a big concern City should maintain no bells to ring at all.

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

MARC Fernandez
(Name)

31 SANTA BARBARA (Island View)
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

RECEIVED

SEP 16 2008

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT
PLANNING, BUILDING AND
CODE ENFORCEMENT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

*2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

* While I have concerns about all 3 comments above I am particularly concerned about parking. There are already many days that cars line both Crenshaw and my street and cause a dangerous safety issue (not to mention if you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to: *annoyance & inconvenience*)

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Randi Sher
(Name)

5354 Valley View Road
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

SEP 16 2008

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT
PLANNING AND CODE ENFORCEMENT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.
2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

CHARLES HACK
(Name)

5417 Valley View Rd, RPV
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

RECEIVED

SEP 16 2008

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

PLANNING, BUILDING AND CODE ENFORCEMENT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Theodore W. Paulson
(Name)

5248 Valley View Road
Rancho Palos Verdes, CA 90274
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST. JOHN FISHER DEVELOPMENT PROJECT

Greetings, Neighbors:

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant is requesting to position the new sanctuary on its 9-acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw, where the 74-ft. height of the building would be added to a building pad that is already 20 ft. above the Crenshaw street level. At this location, the building would have a very prominent presence to be seen by all travelling along Crest Rd. and Crenshaw Blvd. and would loom over residences directly across the street in the Island View - where building pads are 10 feet or more below the Crenshaw street level, further exacerbating the appearance of height, bulk and mass of the structure. The dimensions of the structure and its positioning at the corner are inconsistent with RPV norms of neighborhood compatibility and maintaining the rural and open character of the community (as stated in the City's General Plan), especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the most scenic areas of open space and major trails in the City as well as rural Rolling Hills.

2. The adequacy of parking. The City's General Plan and Development Code require that adequate off-street parking be provided for all existing and future development. The Applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on-site parking from 359 spaces to 331. The existing parking space is barely adequate for the current use of the site and parking occasionally spills onto Crenshaw and neighboring residential streets. A reduction in on-site parking spaces, while increasing the capacity of the sanctuary, would undoubtedly exacerbate neighboring street parking problems.

3. Noise. The City's General Plan says that the policies of the City are to provide for a quiet and serene residential community, to control community noise to assure an environment free of unnecessary noise, and to regulate land use so that there is a minimal degree of noise impact on adjacent land uses. The Applicant has proposed to ring bells several times during the day, seven days a week, plus after weddings and funerals. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

Please add other comments or concerns you may have:

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, Building and Code Enforcement, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the RPV Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Char French 2 Amber Sky Dr. Del Cerro
(Name) (Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (not later than Sept. 16, 2008)

RECEIVED

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT ^{SEP 17 2008}

PLANNING, BUILDING AND
CODE ENFORCEMENT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Tom Zuzi
(Name)

Island View
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

Diane Cadle Trudell
26 Oceanaire Drive
Rancho Palos Verdes, California 90275

Dear Mr. Rojas,

I have attended the RPV Planning meetings concerning the St. John Fisher project. Last Saturday, I attended the meeting that the church had for the neighbors that are close to the church. I find that there are many of the church neighbors that are opposed to the project for legitimate reasons. The size of the structure, the height of the bell tower and the noise of the "bells", the lack of enough parking spaces along with the prolonged increase of dirt and dust to the community are issues that I have found are never addressed by the people who want this project pushed ahead. The changes they have made are minor and certainly not drastic enough to really make a difference. Therefore, I side with the surrounding neighbors that oppose continuing with this project.

Sincerely yours,

Diane Trudell

15 September 2008

RECEIVED

SEP 16 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Leza Mikhail

From: Angela O'Connor [maoconnor@dmjca.org]
Sent: Tuesday, September 16, 2008 4:58 PM
To: LezaM@rpv.com
Subject: Saint John Fisher New Church

Dear Ms.Mikhail,

As a member of Saint John Fisher Church I strongly support the construction of our new church. I ask you to do all in your power to make this a reality. We really need a meeting place for our teenagers to keep them safe and to develop good and reliable citizens.

Our present church was originally intended to be a temporary place of worship which would later become a multi- purpose building. This did not happen. Now our parishioners are willing and eager to build a new church as they realize that our adolescents need a safe place to gather.

Ms.Mikhail I thank you very much for considering our dilemma. I hope you will be influential in letting us have our dream come true.

All the best to you.

Sincerely and gratefully yours,

Catherine Mary O'Connor

Subject: St. John Fisher Master Plan

Reference: Planning Commission Hearing, 23 September 2008

This communication is intended to provide support for the subject plan, as modified and updated, for Planning Commission review at the reference hearing. The current plan presentation includes:

A. Revised Proposed Design dated July 2008 – Height reduction and revised location.

B. Shadow Study – proposed sanctuary shades... “intersection roadways only.”

Items A & B should satisfy Planning Commission & Staff evaluation concerns.

C. Focused Carillon Sound Study – “...noise impacts ... considered less than significant.”

Since Item C will be further revisited under the Conditional Use Permit, neighborhood concerns will be addressed.

On a personal note, traffic before and after the entire range of scheduled services at St John has never caused me to be late for a service or to be inconvenienced leaving a service. This personal traffic study is based on attending services over a period of forty-five years.

In hopes of attending services in the new Sanctuary within my lifetime, I strongly urge the Planning Commission to adopt those measures necessary to move this Master Plan to the City Council.

Respectfully Submitted,

Robert B. Mucha

32460 Searaven Drive

Rancho Palos Verdes, CA 90275

Leza Mikhail

From: GKOECHELER@aol.com
Sent: Sunday, September 14, 2008 2:22 PM
To: LizaM@rpv.com
Subject: St. John Fisher Parish Project

I support the project.

When one moves next to a high school there are inherent advantages and disadvantages. Parking is going to be one of those problems. Live with it or move! The same thing is true with a church. Churches have steeples, bells and large numbers of people attending. Churches and their needs grow with time. Live with it or move.

Please ask each of the plan opponents if they lived in their current residence before the church was built?
Those who moved to there current homes after the original church was built must accept the advantages and disadvantages of living near a church. If they don't like the new church plan, they can move.

It seems fairly simple that the good of the masses should outweigh the wishes of the few.

Gene Koecheler

Pssst...Have you heard the news? [There's a new fashion blog, plus the latest fall trends and hair styles at StyleList.com.](#)

Leza Mikhail

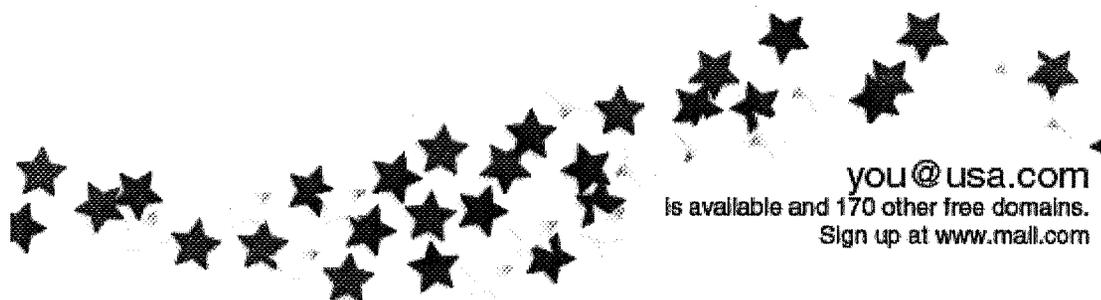
From: Daniel Mueller [ann.dan@verizonmail.com]
Sent: Sunday, September 14, 2008 9:27 AM
To: lezam@rpv.com
Subject: Question Re:SJF

Leza,

I was told by a "second hand" source that SJF was having some open houses or communications sessions to explain what they are proposing to interested neighbors. Is that the case and do you know when these are to happen? As one of SJF's closest neighbors, I would have expected those of us who are residents of Mela Lane to have been notified but I was not and neither have the other residents that I have asked. Thanks.

Dan Mueller

--



Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Tuesday, September 16, 2008 10:44 AM
To: 'Leza Mikhail'
Subject: FW: St. John Fisher building request

From: Nancy Ganahl [mailto:diamondheadnan@netzero.com]
Sent: Tuesday, September 16, 2008 10:40 AM
To: pc@rpv.com
Subject: St. John Fisher building request

Dear Mr. Gerstner, Mr. Knight, Mr. Prestam and Mr. Ruttenberg:

Please approve the building of St. John Fisher parish's new church. We can see no downside to this building. It will only add a beautiful new worship space on our peninsula. Everything else will be as it is now: the same parishioners, the same level of usage, the same impact on the community as now exists... we are good neighbors and will remain so.

We are requesting permission to build a beautiful structure that maintains the beauty of the area on a lot that has space for it and a good setback from the street.(Compare this to the blight that is the Peninsula Center.)

Thank you for reading our input.

Sincerely, Robert and Nancy Ganahl

[Wanna lose weight? Weight Loss Programs that work. Click here.](#)

Leza Mikhail

From: Ed Zale [eazale@verizon.net]
Sent: Tuesday, September 16, 2008 3:50 PM
To: LezaM@rpv.com
Subject: St. John Fisher Church

Hi: I have been a resident of RanchoPalosVerdes for nearly 25 years during which time I have been a parishoner at St.John Fisher.Beyond its religious goal I feel it has been a contrbuter to the betterment of life in RPV and the entire South Bay.I believe that the need to improve its church buildings and campus overall will continue its contribution in this regard.

I attended a meeting Sunday afternoon in which neighbors and parish members as well got a much clearer idea of the scope of the project.Whatever questions and objections that were posed were addressed in a factual manner.I strongly support the proposed project and I hope the Planning Commission will do so.Thank you.

Sincerely,
Edward Zale

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Tuesday, September 16, 2008 4:15 PM
To: 'Leza Mikhail'
Subject: FW: St John Fisher project - Sept. 23rd,2008 Agenda

-----Original Message-----

From: Lenée Bilski [mailto:lenee910@intergate.com]
Sent: Tuesday, September 16, 2008 3:42 PM
To: PC@rpv.com
Cc: L. Bilski
Subject: St John Fisher project - Sept. 23rd,2008 Agenda

Dear Planning Commissioners,

I am writing in support of the proposed St. John Fisher building project.

There have been a lot of false statements about this project in letters submitted to the city and to the local newspaper. This is unfortunate, but I trust the members of the Planning Commission realize the fallacies and disregard them, and will make the decision based on the facts.

The proposed church building is a beautiful, stately design which meets the city's development codes and regulations, and which will provide much needed improvements to the SJF Parish facility. Pastor Msgr. Sork met with some of the neighbors prior to the June 24th public hearing to explain the project and to answer their questions.

It is my understanding that the reason that the public hearing was continued from July 22nd to Sept. 23rd is because of a Public Records Request for communications documents made by those in opposition to the project. This is an unfortunate delay of the decision making process.

However, the parish has used the time since July 22nd to provide additional data and studies, and voluntarily built a 3-dimensional model (prepared to scale at great expense) showing not only the SJF project but also the nearby properties, to supplement the existing drawings and plans. The parish also planned three (3) informational meetings/tours on the site for the neighbors sending individual invitations to each home in the nearby Homeowners Association. You will be given the attendance count at the hearing.

I was shocked by some of the disrespectful comments and accusations of those speaking in opposition to the project at the July 22nd Planning Commission public hearing.

Even though the project as proposed could have been approved as presented, that original project - which serves a parish of 3,000+ families - was revised and downsized after the June 24th hearing to answer the concerns of a few people.

Therefore, in all fairness, since the neighborhood concerns and Commissioners' concerns have been addressed by the revision, the additional studies, and the on-site information sessions, the development should be permitted to proceed without further changes and certainly without further delay. As you know, construction scheduling can be a time-sensitive matter, especially when there is a parish school schedule to take into consideration !

While a few people may not like this proposed development, members of the St. John Fisher parish community contribute much to the city of Rancho Palos Verdes. This building project will enhance the city as well as better serve the needs of St. John Fisher Parish. The applicant has modified the original project and done everything to answer the concerns and questions of the Planning Commissioners and the public,

Please do not delay, make your decision on Sept. 23rd and please vote in favor of the St. John Fisher proposed project .

Thank you for all you do for RPV!

Sincerely,

Lenée Bilski
RPV resident

This message was sent using IMP, the Internet Messaging Program.

September 15, 2008

To: Leza Mikhail, Assistant Planner
The City of Rancho Palos Verdes Planning Department
30940 Hawthorne Blvd.
Rancho Palos Verdes CA 90275

RECEIVED

SEP 16 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Subject:

The St. John Fisher Proposed Project: Deficiencies in Silhouetting Process; Request for Full Environmental Impact Report in lieu of Mitigated Negative Declaration; Parking Concerns; Applicant's Parking Plan Options

Dear Leza,

The St. John Fisher Church (the "applicant") has been a valued member of the surrounding neighborhoods since its formation and many parishioners reside in the surrounding homes. We welcome the applicant's expansion to meet their needs. However, they are now a component of the surrounding neighborhood and must expand within the City's building codes and General Plan's policies.

Item 1 below addresses neighborhood compatibility. Item 2 documents the widespread neighborhood dissatisfaction with the silhouetting process approved by the City for the applicant's proposed expansion. Item 3 addresses the need for a full Environmental Impact Report on this project and Item 4 identified options the applicant may consider to mitigate the project shortcomings.

Neighborhood Compatibility

The applicant did not seem to embrace the need for neighborhood compatibility in designing the proposed expansion until recently requested by the Planning Commission to meet with neighbors and discuss the proposed project at neighborhood meetings held between September 13 and 17, 2008. The church pastor earlier wrote a letter to the City stating that residents (and by inference the City) were unqualified to comment on the design of a Catholic Church, thereby inferring the applicant's campus expansion is immune to neighborhood compatibility issues.

The City's institutional building codes are thin on detailed requirements for neighborhood compatibility, unlike those meticulously detailed in the residential codes. This is undoubtedly because of the infrequent occurrence of institutional projects throughout the City's existence. In the absence of detailed institutional building criteria in the City's Building Codes, the Planning Commission and City Council must therefore

look to the City's General Plan to understand the intent of our founders and top City policies regarding proposed institutional projects like the proposed SJF expansion.

The City's General Plan states on page 93, "Policies" no. 6, "It is the intent of the City to review location & site design of future institutional uses very carefully to ensure their compatibility with adjacent sites." The applicant is surrounded by ranch & Mediterranean-style residences with a semi-rural ambiance. The applicant's existing campus blends with its surroundings nicely. Their proposed expansion, with its modern architecture, is positioned to dominate the Crest-Crenshaw intersection and nearby neighbors with its high cross and bell tower structure. It would be fine mid-campus where it wouldn't tower over neighbors and over the main traffic artery. As proposed, it is incompatible with the surrounding neighborhood architecture, ambiance and scale of structure. The proposed project is also adjacent to a major access route into rural Rolling Hills and the primary access route to the Palos Verdes Nature Reserve.

Silhouetting Process

The applicant's expansion project silhouette process was prejudicial to the surrounding community. It was installed without prior notification to hundreds of residents who pass the applicant's property every day. It was in place for 2 weeks (code requires it to stay up until the appeal process is complete) and was not up for much of the 10-day period due to balloons losing helium, being wrapped around poles, or being displaced by winds. This action deprived many residents who were on vacation or out of town from any knowledge of the silhouette.

The stated reason for the short silhouette period was safety. The City should have required the applicant to build a silhouette of sufficient strength to endure the normal multi-month duration mandated by code and to assure the safety of the silhouetted area. Moreover, the applicant should not have built an unsafe silhouette.

In addition, the design of the major building in the project was modified as a result of some of the early comments and Planning Commission reactions to the original design. The modified was not silhouetted, so neighbors were not able to evaluate the effects for themselves, but rather were forced to rely on photos taken by the City to estimate the impact of the revisions, which did not always represent the impact on their specific property.

It is respectfully requested that the public comment period be extended and a second silhouette be placed on the site to enable independent evaluation by the neighbors.

Full EIR Required

The applicant's proposed expansion plan has many serious deficiencies and does not deserve staff's proposed Mitigated Negative Declaration (MND) in lieu of a full, independent Environmental Impact Report (EIR). In particular:

- The traffic study did not assess project traffic impact on Crenshaw Blvd south of Crest Rd.
This is the only ingress/egress for 160 homes in Del Cerro, Valley View, Park Place, and Burrell Lane. This corridor is vital to the health and welfare of more than 500 residents in this area.
- The MND also does not address traffic on this street during the proposed multi-year construction project, or any measures to mitigate the impact of construction traffic on it.
- The applicant's parking analysis and design are several hundred spaces short of that required by Code. Actual vehicle occupancy rates observed at the applicant's campus over the past 5 Sundays (between 8:15 am and 11:15 am) show occupancy averaging 1.6 people per vehicle, far less than the code value of 3 per vehicle. See this author's letter on parking issues. The issue deserves a professional and independent study to assure the parking lot is properly sized to minimize on-street parking, and that a traffic analysis is performed with the proper parking assumed.
- The applicant proposes adding a new use, preschool classes, to the site and has made no provisions for this expanded activity in their proposed parking capacity analysis.
- The applicant has stated in their outreach meetings with surrounding residents on September 13th and 14th that they plan to continue on-site masses, educational classes and other activities throughout the construction phase. However, we have found no plans or analyses regarding where their parishioners will park for church services or other activities during this time. The viability of concurrent full use of the current facilities during a significant demolition and construction activity dictates a thorough environmental assessment to assure these concurrent activities can be performed in a safe manner without a significant adverse impact on the parishioners and surrounding neighborhoods.
- A detailed analysis of the impact of noise, dust, construction traffic routing, on-site parking limitations and other impacts on the on-going campus activities should be

September 16, 2008

RECEIVED

SEP 16 2008

VIA HAND DELIVERY

PLANNING, BUILDING AND
CODE ENFORCEMENT

Planning Commission
City of Rancho Palos Verdes
30940 Hawthorne Boulevard
Rancho Palos Verdes, CA 90275

Re: St. John Fisher Project
Request for Prohibition Against Windows in Western End of
Proposed Parish/Youth Center

Dear Sirs:

We understand that the current St. John Fisher sanctuary will be renovated to serve as a gymnasium and parish activity/youth center. Because the placement of windows on the western end of this building overlooking Crenshaw may seriously and adversely affect our privacy, we request that the Planning Commission include in any conditional use permit a provision prohibiting the placement of windows on the western end of the building, now and in the future. Even if the applicant has no current plans to place windows in the western end of that building, then the prohibition against the placement of windows is still necessary to prevent the placement of windows there in the future.

Our property on 15 Santa Barbara Drive in Island View including home, yard, and swimming pool is located directly across the street from the present sanctuary on Crenshaw Boulevard. (See Exhibit 1, attached.) The proposed parish activity/youth center sits at an elevation of 1,218.80 feet, which is over 30 feet above our property. (See Exhibit 2, attached.) At the western end of the building, there will be rooms on two levels—first, at the height/level of the existing sanctuary (see Exhibit 3, attached), and second, we believe, at a downstairs level currently used for various purposes. Given the proximity of our property to the western end of this building and the height of the two levels of rooms on the western end overlooking our property, windows placed at the sanctuary level and possibly at the lower level may well look over the hedge bordering our property and into our house, yard, and/or swimming pool, thus seriously and adversely affecting our privacy. These windows may also negatively impact the privacy of our neighbors.

On Saturday, September 13, 2008, we attended an open session given by the applicant. At that function, we expressed our concern and suggested that there be no windows in the western end of the proposed parish activity/youth center to protect our privacy. Our suggestion was noted but we do not know what action, if any, is needed or will be taken in response. We do not know how many levels are currently planned for this

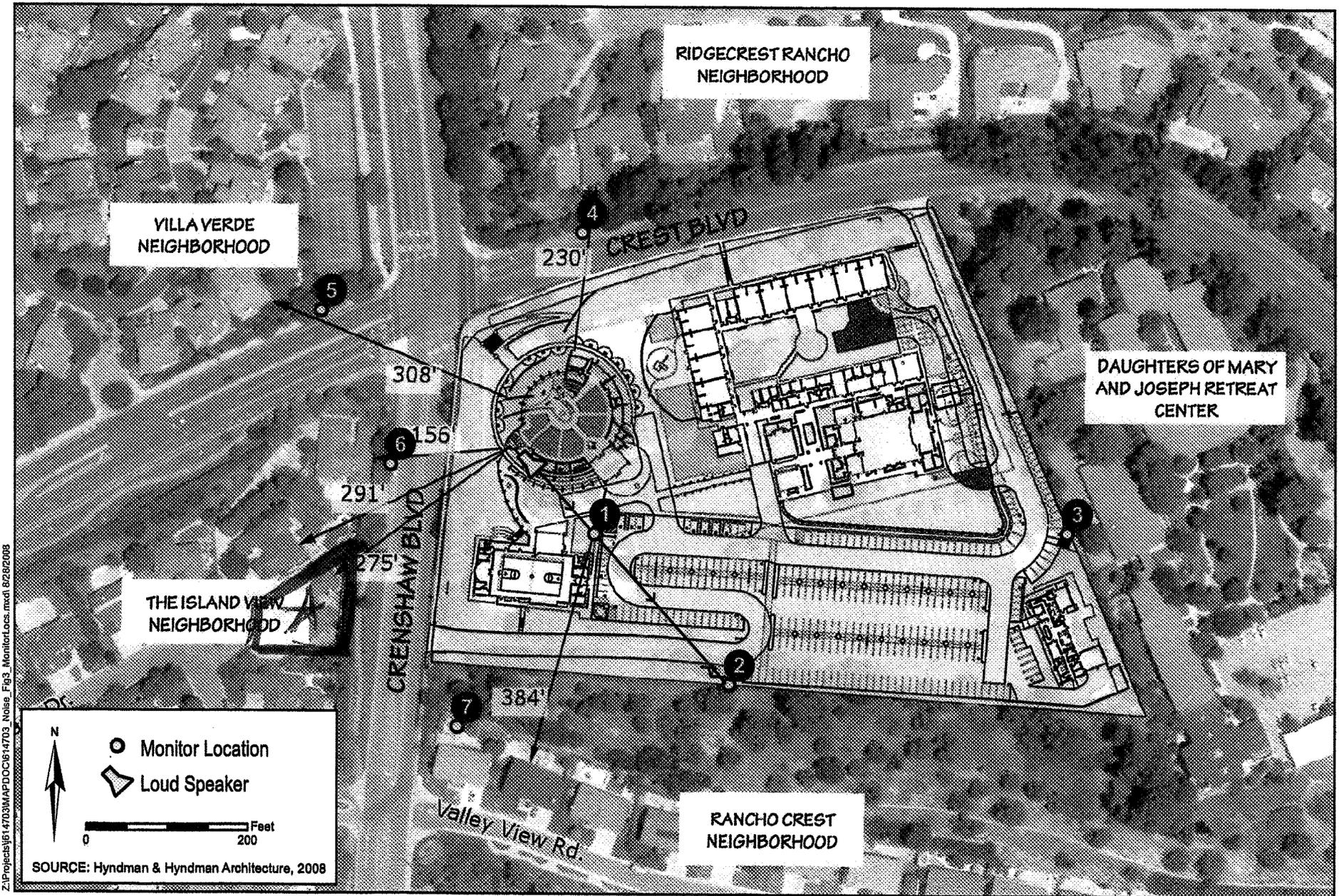
In light of the above, we respectfully request the Planning Commission to include in any conditional use permit a prohibition against the placement of windows in the western end of the proposed parish activity/youth center, at any level, now and in the future. In this regard, we understand that there is now one window in the lower level of the western end of the building. We request that opaque glass be placed in that window.

Thank you for your consideration of this important privacy issue.

Sincerely,

A handwritten signature in cursive script that reads "Vincent and Lynne Belusko". The ink is dark and the handwriting is fluid and connected.

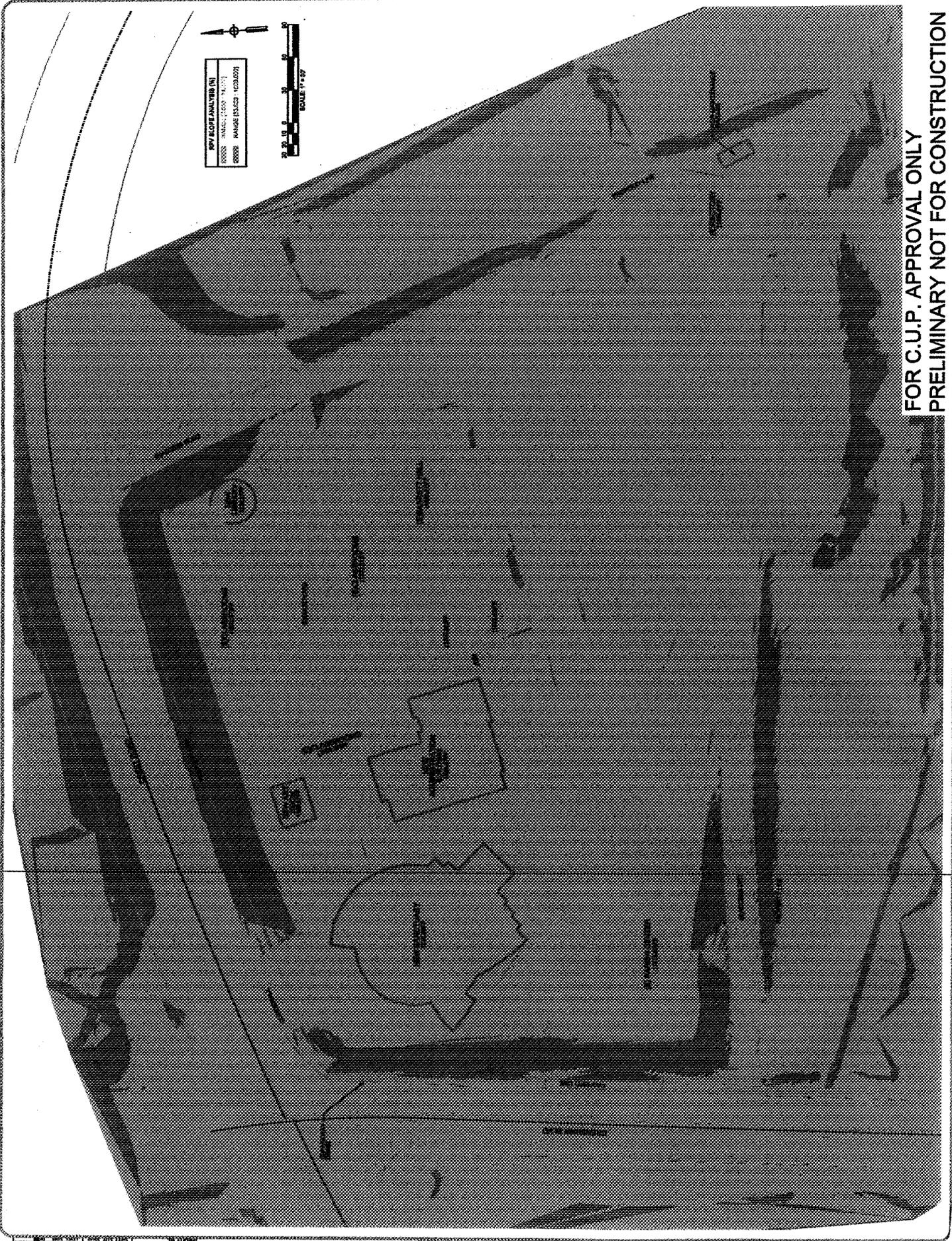
Vincent and Lynne Belusko



DUDEK

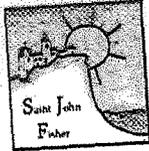
St. John Fisher Church - Noise Study
Monitor Locations

FIGURE
3



SLOPE ANALYSIS PLAN
 ST. JOHN FISHER
 5448 CREST ROAD
 RANCHO PALOS VERDES, CA 90275

FOR C.U.P. APPROVAL ONLY
 PRELIMINARY NOT FOR CONSTRUCTION



St John Fisher Catholic Community
Revised Proposed Design
July 2008

NEW = RED
ORIGINAL =

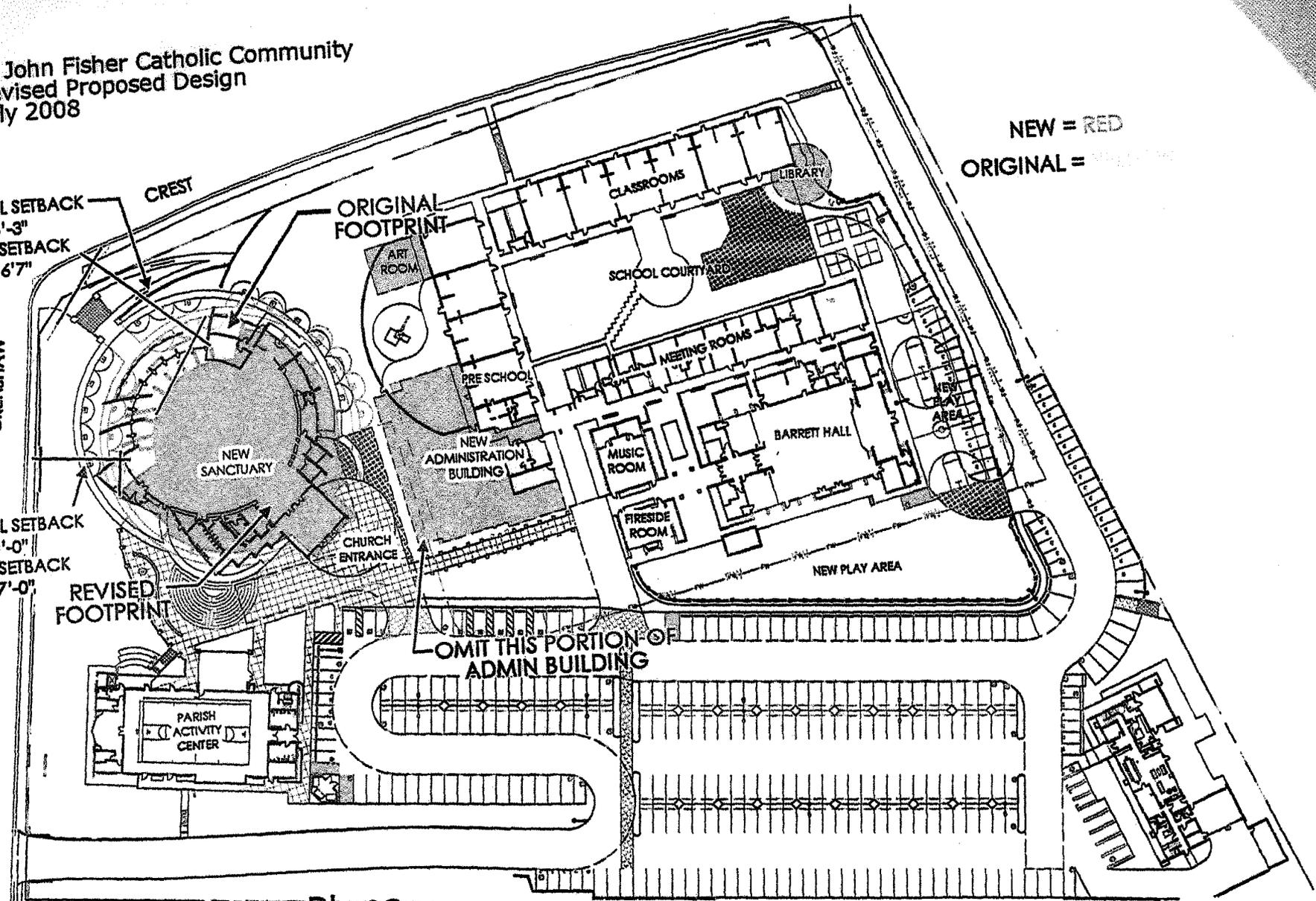
ORIGINAL SETBACK
 86'-3"
NEW SETBACK
 96'7"

CRENSHAW

ORIGINAL SETBACK
 40'-0"
NEW SETBACK
 57'-0"

REVISED FOOTPRINT

ORIGINAL FOOTPRINT



OMIT THIS PORTION OF ADMIN BUILDING

Overlay of Site Plans

EXHIBIT 3

Leza Mikhail

From: Ray BARTHEL [rtbarthel@msn.com]
Sent: Monday, September 15, 2008 4:54 PM
To: LezaM@rpv.com
Subject: St John Fisher Building Plans

I sent this message with your name and e-mail address misspelled, so here's the corrected version.

Attn: Leza Mikhail

Unfortunately I will not be able to attend the upcoming Planning Commission meeting scheduled for this coming September 23rd. But I did want to express my concern over the objections that are being levied against the church's building plan.

The voices in opposition to the building of a beautiful new church appear to be obstructionists without just cause in attempting to stop this building request. I don't recall any major objections or any uproar to the building of the Assisted Living Marriott facility on Crestridge, a much bigger building than the proposed new church. Furthermore, there are several churches and a Synagogue located on this street that appear not to have had major resistance to their building sizes and/or additions. I reflect on these because of their close proximity to the site in question and to those neighbor objectors.

To stand in the way of God's work is blasphemy! The church actually will add to the community's value by improving the land use with an architecturally pleasing building and beautification of all the surrounding landscape. The ringing of chimes is a pleasant sound, unlike all the disruptive noises one might hear in the course of the day. I've also heard that there are those who are objecting to a perceived traffic problem. How short-sighted and unfounded is this concern when as a parishioner who has attended church at St John Fisher since 1970 I can tell you that the only two occasions each year that the church experiences any kind of traffic problem is both at Christmas time and on Easter Sunday when those who do not attend regularly bring themselves to church on these particular days of the year.

The long and short is that we are seeing a handful of dissenters become an activist type group to stop the construction of a new church just because they don't want it. What their motivation may be, only God knows and maybe that should frighten them more than their concern for the building of an improved house of worship.

Please list my wife and me as solidly in support of the Planning Commission approval of the building plans that have taken into account modifications to appease those who may have had some legitimate concerns earlier which have been addressed and should now pave the way for the go-ahead of this project.

Sincerely,
Ray Barthel

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Tuesday, September 16, 2008 10:44 AM
To: 'Leza Mikhail'
Subject: FW: St. John Fisher building request

From: Nancy Ganahl [mailto:diamondheadnan@netzero.com]
Sent: Tuesday, September 16, 2008 10:40 AM
To: pc@rpv.com
Subject: St. John Fisher building request

Dear Mr. Gerstner, Mr. Knight, Mr. Prestam and Mr. Ruttenberg:

Please approve the building of St. John Fisher parish's new church. We can see no downside to this building. It will only add a beautiful new worship space on our peninsula. Everything else will be as it is now: the same parishioners, the same level of usage, the same impact on the community as now exists... we are good neighbors and will remain so.

We are requesting permission to build a beautiful structure that maintains the beauty of the area on a lot that has space for it and a good setback from the street.(Compare this to the blight that is the Peninsula Center.)

Thank you for reading our input.

Sincerely, Robert and Nancy Ganahl

[Wanna lose weight? Weight Loss Programs that work. Click here.](#)

5431 VALLEY VIEW RD
RANCHO PALOS VERDES
CALIF., 90275
SEPTEMBER 16, 2008

PLANNING COMMISSION
C/O DOEL ROJAS
DIRECTOR OF PLANNING
PLANNING, BUILDING AND CODE ENFORCEMENT
RANCHO PALOS VERDES, CA 90275

RE: OPPOSITION TO RINGING BELLS

My name is Dr Stanley Olrick and I live on Valley View Rd, behind St. John Fisher Church. I have lived in this quiet pristine neighborhood for 27 years.

I am protesting the ringing of any bells at the church for the following reason.

My schedule as an obstetrician requires me to be on call many nights. There are many times when I may get home when the sun comes up. And all I want to do is go to sleep. Under these circumstances the last thing I want is my sleep to be disturbed by the ringing of bells or recording of bells.

Sincerely

Stanley Olrick, MD

RECEIVED

SEP 16 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.
2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

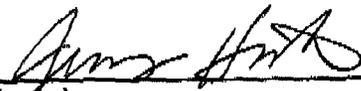
If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

RECEIVED
SEP 16 2008
PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.


(Name)

27955 Ridgebluff Ct., R.P.V 90275
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.
2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

RECEIVED

SEP 16 2008

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

PLANNING, BUILDING AND
CODE ENFORCEMENT

Nancy Schwarting (Name) 27521 Larchbluff Dr, RPV, Ca (Address or Neighborhood) 90275

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

RECEIVED

SEP 16 2008

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Joel H. Bost
(Name)

30511 Cartier Dr RPV 90275
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

RECEIVED

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

SEP 16 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

STANLEY OLENICK MD

VALLEY VIEW RD

(Name)

(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.
2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

RECEIVED

SEP 16 2008

PLANNING, BUILDING AND
ENFORCEMENT

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Chin (Gina) Chiang
(Name)

27978 Beachgett. Dr. R. P. V.
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgcrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

RECEIVED

SEP 16 2008

PLANNING, BUILDING AND
ENFORCEMENT

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

[Signature]
(Name)

28220 Golden Mendon Dr. R.P.V. CA 90275
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.
2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

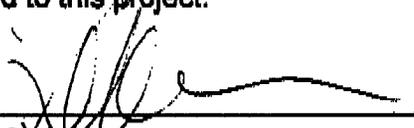
RECEIVED

SEP 16 2008

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

PLANNING, BUILDING AND
DEVELOPMENT


(Name)

5445 Valley View Rd., R.P.V. 90275
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.
2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

RECEIVED

SEP 16 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.



(Name)

20 Horner Lane
R/VG. Ca 90275

(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

RECEIVED

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275 SEP 16 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Kevin Uss
(Name)

60 Oceanaine Dr. RPV. CA 90275
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

SEP-16 2008 09:02 PM LEE-LING.OU

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. ~~The Applicant has proposed to ring bells several times during the day, seven-days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.~~

Bells ringing can set dogs (of which Islandview has many) barking. Please continue to keep our area RURAL!

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

RECEIVED
SEP 16 2008
PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Ruth M. Dell
(Name)

49 Santa Barbara Dr. (Islandview)
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.
2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

RECEIVED
SEP 16 2008
PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Mayh All
(Name)

5367 Valley View Rd RPV
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

RECEIVED

SEP 16 2008

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Michael M. Ozawa
Michael + Noriko Ozawa
(Name)

5234 Valley View Rd., RPV, CA
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

- 1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City. *I oppose a structure that size in a residential area where we are not all Catholics!*
- 2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant. *Island View would have to put in a parking garage like the one on Crest & Whitley Collins to keep people out - this is expensive.*
- 3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

I am against the bells very much! But if there's no permitting bell ringing - "St. Peter's by the Sea" rings their bell and that's why I didn't move there!

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

RECEIVED

SEP 15 2008

Ann S. Mills
(Name) *46 Santa Barbara*

Island View
(Address or Neighborhood)

PLANNING, BUILDING AND
CODE ENFORCEMENT

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST. JOHN FISHER DEVELOPMENT PROJECT

Greetings, Neighbors:

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Palos Verdes and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant is requesting to position the new sanctuary on its 9-acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw, where the 74-ft. height of the building would be added to a building pad that is already 15 to 20 ft. above the Crenshaw street level. At this location, the building would have a very prominent presence to be seen by all travelling along Crest Rd. and Crenshaw Blvd. and would loom over residences directly across the street in the Island View - where building pads are 10 feet or more below the Crenshaw street level, further exacerbating the appearance of height, bulk and mass of the structure. The dimensions of the structure and its positioning at the corner are inconsistent with RPV norms of neighborhood compatibility and maintaining the rural and open character of the community (as stated in the City's General Plan), especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the most scenic areas of open space and major trails in the City as well as rural Rolling Hills.

2. The adequacy of parking. The City's General Plan and Development Code require that adequate off-street parking be provided for all existing and future development. The Applicant seeks to **increase** the seating capacity of its sanctuary from 650 to 870, while **decreasing** the on-site parking from 359 spaces to 331. The existing parking space is barely adequate for the current use of the site and parking occasionally spills onto Crenshaw and neighboring residential streets. A reduction in on-site parking spaces, while increasing the capacity of the sanctuary, would undoubtedly exacerbate neighboring street parking problems.

3. Noise. The City's General Plan says that the policies of the City are to provide for a quiet and serene residential community, to control community noise to assure an environment free of unnecessary noise, and to regulate land use so that there is a minimal degree of noise impact on adjacent land uses. The Applicant has proposed to ring bells several times during the day, seven days a week, plus after weddings and funerals. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

Please add other comments or concerns you may have:

I + family moved to Del Cerro because it is off the major thoroughfares & is one of the most quiet spots on the peninsula! I do not want to hear bells of any decible level!!! I have lived here for 41 yrs

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

So I have seen the development of the peninsula

Joel Rojas, Director of Planning, Building and Code Enforcement, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275

Dear Mr. Rojas:

Please keep within the guidelines of the city planning as it was dictated.

I share the concerns and values of my neighbors. I encourage the RPV Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Carlyn Markins
(Name)

38 Oceanave Dr. RPV
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (by Sept. 16, 2008, if possible)

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.
2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Marcia M. Butler
(Name)

Santa Barbara Drive, Island View
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST. JOHN FISHER DEVELOPMENT PROJECT

Greetings, Neighbors:

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant is requesting to position the new sanctuary on its 9-acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw, where the 74-ft. height of the building would be added to a building pad that is already 20 ft. above the Crenshaw street level. At this location, the building would have a very prominent presence to be seen by all travelling along Crest Rd. and Crenshaw Blvd. and would loom over residences directly across the street in the Island View - where building pads are 10 feet or more below the Crenshaw street level, further exacerbating the appearance of height, bulk and mass of the structure. The dimensions of the structure and its positioning at the corner are inconsistent with RPV norms of neighborhood compatibility and maintaining the rural and open character of the community (as stated in the City's General Plan), especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the most scenic areas of open space and major trails in the City as well as rural Rolling Hills.

2. The adequacy of parking. The City's General Plan and Development Code require that adequate off-street parking be provided for all existing and future development. The Applicant seeks to **increase** the seating capacity of its sanctuary from 650 to 870, while **decreasing** the on-site parking from 359 spaces to 331. The existing parking space is barely adequate for the current use of the site and parking occasionally spills onto Crenshaw and neighboring residential streets. A reduction in on-site parking spaces, while increasing the capacity of the sanctuary, would undoubtedly exacerbate neighboring street parking problems.

3. Noise. The City's General Plan says that the policies of the City are to provide for a quiet and serene residential community, to control community noise to assure an environment free of unnecessary noise, and to regulate land use so that there is a minimal degree of noise impact on adjacent land uses. The Applicant has proposed to ring bells several times during the day, seven days a week, plus after weddings and funerals. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

Please add other comments or concerns you may have:

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, Building and Code Enforcement, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the RPV Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Olga Jones
(Name)

3 Crestwind Drive (Del Cerro)
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (not later than Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

The building is too high & large. I do not want parking for the church on Crenshaw or my neighborhood - let alone the traffic. How will we get out of our neighborhood, I am also opposed to the bell. If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

RECEIVED

SEP 15 2008

PLANNING DEPARTMENT AND ENFORCEMENT

Donna Greaney
(Name)

Island View
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary: The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Karen Crowley
(Name)

Island View
(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

RECEIVED
SEP 15 2008
PLANNING, BUILDING AND
CODE ENFORCEMENT

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

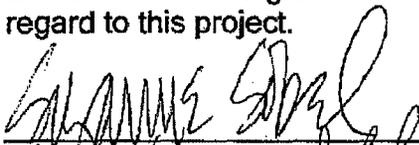
3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

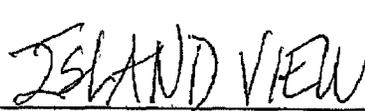
Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.



(Name) *Suzanne Sobel*



(Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

Janet & Arun Chaudhuri
(Name)

Island View
19 San Clemente Dr., RPV
(Address or Neighborhood)

RECEIVED
SEP 15 2008
PLANNING, BUILDING AND
CODE ENFORCEMENT

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

John H. S. Wang
John Wang

(Name)

23 Santa Barbara Drive, RPV, CA 90275

(Address or Neighborhood)

RECEIVED
SEP 15 2008
PLANNING, BUILDING AND
CODING DEPARTMENT

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST. JOHN FISHER DEVELOPMENT PROJECT 15 2008

Greetings, Neighbors:

PLANNING, BUILDING AND CODE ENFORCEMENT

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mola Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Palos Verdes and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant is requesting to position the new sanctuary on its 9-acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw, where the 74-ft. height of the building would be added to a building pad that is already 15 to 20 ft. above the Crenshaw street level. At this location, the building would have a very prominent presence to be seen by all travelling along Crest Rd. and Crenshaw Blvd. and would loom over residences directly across the street in the Island View - where building pads are 10 feet or more below the Crenshaw street level, further exacerbating the appearance of height, bulk and mass of the structure. The dimensions of the structure and its positioning at the corner are inconsistent with RPV norms of neighborhood compatibility and maintaining the rural and open character of the community (as stated in the City's General Plan), especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the most scenic areas of open space and major trails in the City as well as rural Rolling Hills.

2. The adequacy of parking. The City's General Plan and Development Code require that adequate off-street parking be provided for all existing and future development. The Applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on-site parking from 359 spaces to 331. The existing parking space is barely adequate for the current use of the site and parking occasionally spills onto Crenshaw and neighboring residential streets. A reduction in on-site parking spaces, while increasing the capacity of the sanctuary, would undoubtedly exacerbate neighboring street parking problems.

3. Noise. The City's General Plan says that the policies of the City are to provide for a quiet and serene residential community, to control community noise to assure an environment free of unnecessary noise, and to regulate land use so that there is a minimal degree of noise impact on adjacent land uses. The Applicant has proposed to ring bells several times during the day, seven days a week, plus after weddings and funerals. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

Please add other comments or concerns you may have: PLEASE NOTE :

After attending both planning commission meetings (at Hesse park) and now recently attending the "St. John Fisher meeting" on the St. John property, we are still opposed and have more reservations to the proposed construction project as it stands now. There needs to be more studies done with more concrete and evaluative reports/ results to show actual impact to the neighboring communities, which we still believe negatively impacts the neighboring areas as stated in the above concerns.



SEND MAIL TO

Joel Rojas, Director of Planning, Building and Code Enforcement, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the RPV Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

THE EDWARDS 30 SANTA CATALINA R.P.V. 90275
(Name) (Address or Neighborhood) (ISLAND VIEW)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (by Sept. 16, 2008, if possible)

THANK YOU MR. ROJAS FOR LISTENING TO OUR CONCERNS.

IMPORTANT INFORMATION IN REGARD TO THE ST JOHN FISHER PROJECT

Greetings

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Verde and Ridgecrest) share 3 primary concerns regarding some aspects of the proposal.

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant has chosen to position the new sanctuary on its 9 acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw. The building looms over residences directly across the street in the Island View (where building pads are 20 feet below the Applicant's building pad, further exacerbating the appearance of height, bulk and mass of the structure.) The dimensions of the structure and its positioning at the corner is inconsistent with RPV norms of community compatibility, especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the major trails in the City.

2. The adequacy of parking. The applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on site parking from 359 spaces to 331. The proposed parking is inadequate given the current use of the site thereby increasing street parking in neighborhoods surrounding the Applicant.

3. Noise. The Applicant has proposed to ring bells several times during the day, seven days a week. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

WE STRONGLY OPPOSE ALL ASPECTS OF PROPOSED BUILDING PLAN MAINLY BECAUSE OF ITS IMPACT ON ISLAND VIEW PROPERTY VALUES DUE TO THE ABOVE MENTIONED CONCERNS

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, Ca 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

(AZHAR MUTTALIB) *[Signature]*

(LUBNA MUTTALIB) *[Signature]* 25 SANTA CATALINA DRIVE
(Name) (Address or Neighborhood)

RECEIVED
SEP 15 2008
PLANNING DEPARTMENT
CITY OF RANCHO PALOS VERDES

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (Sept. 16, 2008)

IMPORTANT INFORMATION IN REGARD TO THE ST. JOHN FISHER DEVELOPMENT PROJECT

Greetings, Neighbors:

A hearing has been scheduled for Tuesday, September 23, 2008, at 7:00 PM at Hesse Park for public comment regarding the proposed building project by St. John Fisher Church (The Applicant). While supporting many of the stated purposes of the proposed project, many residents in the surrounding neighborhoods (Island View, Mela Lane, Valley View Road, Burrell Lane, Park Place, Del Cerro, Mesa Palos Verdes and Ridgecrest) share primary concerns regarding some aspects of the proposal.

RECEIVED
SEP 15 2008
PLANNING, BUILDING AND
CODE ENFORCEMENT

1. The size and mass of the new sanctuary. The Applicant proposes to build a new 17,000 sq. ft. sanctuary with a tower and steeple towering 74 feet above the ground. The Applicant is requesting to position the new sanctuary on its 9-acre (400,000 sq. ft.) lot at the corner of Crest and Crenshaw, where the 74-ft. height of the building would be added to a building pad that is already 15 to 20 ft. above the Crenshaw street level. At this location, the building would have a very prominent presence to be seen by all travelling along Crest Rd. and Crenshaw Blvd. and would loom over residences directly across the street in the Island View - where building pads are 10 feet or more below the Crenshaw street level, further exacerbating the appearance of height, bulk and mass of the structure. The dimensions of the structure and its positioning at the corner are inconsistent with RPV norms of neighborhood compatibility and maintaining the rural and open character of the community (as stated in the City's General Plan), especially in light of the fact that the area is composed of single family homes, and is at the gateway to one of the most scenic areas of open space and major trails in the City as well as rural Rolling Hills.

2. The adequacy of parking. The City's General Plan and Development Code require that adequate off-street parking be provided for all existing and future development. The Applicant seeks to increase the seating capacity of its sanctuary from 650 to 870, while decreasing the on-site parking from 359 spaces to 331. The existing parking space is barely adequate for the current use of the site and parking occasionally spills onto Crenshaw and neighboring residential streets. A reduction in on-site parking spaces, while increasing the capacity of the sanctuary, would undoubtedly exacerbate neighboring street parking problems.

3. Noise. The City's General Plan says that the policies of the City are to provide for a quiet and serene residential community, to control community noise to assure an environment free of unnecessary noise, and to regulate land use so that there is a minimal degree of noise impact on adjacent land uses. The Applicant has proposed to ring bells several times during the day, seven days a week, plus after weddings and funerals. Since the formation of RPV in 1973, no church has been permitted to ring bells, and the City should not depart from this precedent.

Please add other comments or concerns you may have:

If you want the Planning Commission to address the concerns listed above, please sign the statement below and mail it to:

Joel Rojas, Director of Planning, Building and Code Enforcement, City of Rancho Palos Verdes
30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275

Dear Mr. Rojas:

I share the concerns and values of my neighbors. I encourage the RPV Planning Department and Planning Commission to work with the Applicant to develop a plan that allows the Applicant to build their improvements in a way that addresses the issues stated above and is compatible with the surrounding community. Additionally, I have noted above other concerns I have with regard to this project.

DONALD Y MARIAN GREIF 33 OCEANAIRE DRIVE - DEL CERRO
(Name) (Address or Neighborhood)

You can also fax this letter to the Planning Department at 310-544-5293
Comments should be sent As Soon as Possible (by Sept. 16, 2008, if possible)

Island View Homeowners Association
P.O. Box 2586
Rancho Palos Verdes, CA 90275

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

September 12, 2008

Planning Commission
City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275

RE: Proposed Mitigated Negative Declaration Permit
St. John Fisher Church

Dear Commissioners:

I am sending you this letter at the direction of the Board of Directors of the Island View Homeowners Association. The Island View is a 95 home Planned Unit Development located south of Crest Road and immediately west of Crenshaw Boulevard. St John Fisher Church is our neighbor across Crenshaw Boulevard.

The Board of Directors polled the membership of the Association, and also held a special meeting on September 8, 2008. The consensus of the Board is that any plan which the Planning Commission approves should have no significant adverse impact on adjacent properties in the Island View community.

Sincerely,

Mrs. Kim Quinn, President
Island View Homeowners Association

City of Rancho Palos Verdes
Mr. Joel Rojas and Ms Leza Michail
Director of Planning, Building and Code Enforcement
30940 Hawthorne Blvd.
Rancho Palos Verdes, California 90274
Attn: Director of Planning and Zoning and Ms Leza Michail

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Mr Joel Rojas and Ms Leza Michail,

We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We have concerns regarding the fairness of the Shadow Study which was prepared by Dudek Company pertaining to the recent redesigned proposed St John Fisher construction. The bulk, size mass of the project imposes significant and adverse impacts on the surrounding community. Hence we asked that the Commission not to approve the construction until these significant and adverse impacts are mitigated. Please note the following concerns:

- 1) The study did not address the shadows that this large, massive, over-towering structure will impose on the surrounding adjacent residents during the early morning hours of 6:30am, 7:00am, 7:30am, 8:00am or 8:30am:

During these early morning hours, the redesigned proposed St John Fisher project will create shadows to the surrounding residents and their yards. This will create significant and adverse impacts on these residents. Hence we asked that the Commission not to approve the construction until this significant and adverse impact is mitigated.

Regards,

GARY LONG
9/13/2008

PO Box 3098
Palos Verdes Peninsula, Calif 90274

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

City of Rancho Palos Verdes
Mr Joel Rojas and Ms Leza Michail
Director of Planning, Building and Code Enforcement
30940 Hawthorne Blvd.
Rancho Palos Verdes, California 90274
Attn: Director of Planning and Zoning and Ms Leza Michail

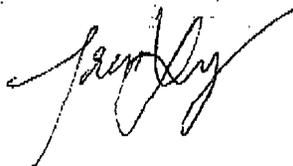
Dear Mr Joel Rojas and Ms Leza Michail,

We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We have concerns that the recent redesigned proposed St John Fisher construction imposes significant and adverse impacts on the surrounding community. Hence we asked that the Commission not to approve the construction until these significant and adverse impacts are mitigated. Please note the following concerns:

- 1) **Neighborhood compatibility.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and has significant adverse impacts on the surrounding residential neighborhood. The proposed St. John Fisher building imposes on nearby residents' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.
- 2) **Height of building pad and structure.** In a residential neighborhood, a large and massive building that is 4-5 stories high on the corner of Crest and Crenshaw would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards. **Excavation of the building pad and lowering the building pad and the height and size of the building is required.**
- 3) **Same building standards for all.** Most of the buildings south of Crest were required to excavate their soil and were required to build their structure so that the roof lines would be lowered and blend into the nearby surroundings and not be obtrusive and block peoples view. There was a height restriction that was being enforced to protect the neighbors and local surroundings. **The same standards need to apply to the proposed St John Fisher construction.**
- 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- 5) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- 6) **Noise problem.** Allowance of this building on that corner would further increase the noise problem that already exists.
- 7) **Move the building to the middle of their 9 acre estate.** Move the structure to somewhere near the middle of the 9 acre estate in such a fashion where it blends in with the local surrounding and does not bother the neighbors visually or audibly.

Once again, we have concerns that the recent redesigned proposed St John Fisher construction imposes significant and adverse impacts on the surrounding community. Hence we asked that the Commission not to approve the construction until these significant and adverse impacts are mitigated.

Sincerely,



MR. TREY LONG
CONCERNED ISLAND VIEW RESIDENT
SEPTEMBER 12TH, 2008

City of Rancho Palos Verdes
 Mr Joel Rojas and Ms Leza Michail
 Director of Planning, Building and Code Enforcement
 30940 Hawthorne Blvd.
 Rancho Palos Verdes, California 90274
 Attn: Director of Planning and Zoning and Ms Leza Michail

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
 CODE ENFORCEMENT

Dear Mr Joel Rojas and Ms Leza Michail,

We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We have concerns that the recent redesigned proposed St John Fisher construction imposes significant and adverse impacts on the surrounding community. Hence we asked that the Commission not to approve the construction until these significant and adverse impacts are mitigated. Please note the following concerns:

- 1) **Neighborhood compatibility.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and has significant adverse impacts on the surrounding residential neighborhood. The proposed St. John Fisher building imposes on nearby residents' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.
- 2) **Height of building pad and structure.** In a residential neighborhood, a large and massive building that is 4-5 stories high on the corner of Crest and Crenshaw would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards. **Excavation of the building pad and lowering the building pad and the height and size of the building is required.**
- 3) **Same building standards for all.** Most of the buildings south of Crest were required to excavate their soil and were required to build their structure so that the roof lines would be lowered and blend into the nearby surroundings and not be obtrusive and block peoples view. There was a height restriction that was being enforced to protect the neighbors and local surroundings. **The same standards need to apply to the proposed St John Fisher construction.**
- 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- 5) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- 6) **Noise problem.** Allowance of this building on that corner would further increase the noise problem that already exists.
- 7) **Move the building to the middle of their 9 acre estate. Move the structure to somewhere near the middle of the 9 acre estate in such a fashion where it blends in with the local surrounding and does not bother the neighbors visually or audibly.**

Once again, we have concerns that the recent redesigned proposed St John Fisher construction imposes significant and adverse impacts on the surrounding community. Hence we asked that the Commission not to approve the construction until these significant and adverse impacts are mitigated.

Sincerely,

Harrison Long
 island view residence

City of Rancho Palos Verdes
 Mr Joel Rojas and Ms Leza Michail
 Director of Planning, Building and Code Enforcement
 30940 Hawthorne Blvd.
 Rancho Palos Verdes, California 90274
 Attn: Director of Planning and Zoning and Ms Leza Michail

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
 CODE ENFORCEMENT

Dear Mr Joel Rojas and Ms Leza Michail,

We are the neighbors of St John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We have concerns that the recent redesigned proposed St John Fisher construction imposes significant and adverse impacts on the surrounding community. Hence we asked that the Commission not to approve the construction until these significant and adverse impacts are mitigated. Please note the following concerns:

- 1) **Neighborhood compatibility.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and has significant adverse impacts on the surrounding residential neighborhood. The proposed St John Fisher building imposes on nearby residents' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.
- 2) **Height of building pad and structure.** In a residential neighborhood, a large and massive building that is 4-5 stories high on the corner of Crest and Crenshaw would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards. **Excavation of the building pad and lowering the building pad and the height and size of the building is required.**
- 3) **Same building standards for all.** Most of the buildings south of Crest were required to excavate their soil and were required to build their structure so that the roof lines would be lowered and blend into the nearby surroundings and not be obtrusive and block peoples view. There was a height restriction that was being enforced to protect the neighbors and local surroundings. **The same standards need to apply to the proposed St John Fisher construction.**
- 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- 5) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- 6) **Noise problem.** Allowance of this building on that corner would further increase the noise problem that already exists.
- 7) **Move the building to the middle of their 9 acre estate.** Move the structure to somewhere near the middle of the 9 acre estate in such a fashion where it blends in with the local surrounding and does not bother the neighbors visually or audibly.

Once again, we have concerns that the recent redesigned proposed St John Fisher construction imposes significant and adverse impacts on the surrounding community. Hence we asked that the Commission not to approve the construction until these significant and adverse impacts are mitigated.

Sincerely,

Mrs. Rose Long
Island View

City of Rancho Palos Verdes
 Mr Joel Rojas and Ms Leza Michail
 Director of Planning, Building and Code Enforcement
 30940 Hawthorne Blvd.
 Rancho Palos Verdes, California 90274
 Attn: Director of Planning and Zoning and Ms Leza Michail

RECEIVED

SEP 12 2008

PLANNING, BUILDING AND
 CODE ENFORCEMENT

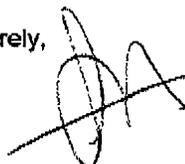
Dear Mr Joel Rojas and Ms Leza Michail,

We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We have concerns that the recent redesigned proposed St John Fisher construction imposes significant and adverse impacts on the surrounding community. Hence we asked that the Commission not to approve the construction until these significant and adverse impacts are mitigated. Please note the following concerns:

- 1) **Neighborhood compatibility.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and has significant adverse impacts on the surrounding residential neighborhood. The proposed St. John Fisher building imposes on nearby residents' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.
- 2) **Height of building pad and structure.** In a residential neighborhood, a large and massive building that is 4-5 stories high on the corner of Crest and Crenshaw would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards. **Excavation of the building pad and lowering the building pad and the height and size of the building is required.**
- 3) **Same building standards for all.** Most of the buildings south of Crest were required to excavate their soil and were required to build their structure so that the roof lines would be lowered and blend into the nearby surroundings and not be obtrusive and block peoples view. There was a height restriction that was being enforced to protect the neighbors and local surroundings. **The same standards need to apply to the proposed St John Fisher construction.**
- 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- 5) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- 6) **Noise problem.** Allowance of this building on that corner would further increase the noise problem that already exists.
- 7) **Move the building to the middle of their 9 acre estate. Move the structure to somewhere near the middle of the 9 acre estate in such a fashion where it blends in with the local surrounding and does not bother the neighbors visually or audibly.**

Once again, we have concerns that the recent redesigned proposed St John Fisher construction imposes significant and adverse impacts on the surrounding community. Hence we asked that the Commission not to approve the construction until these significant and adverse impacts are mitigated.

Sincerely,

 GARY LONG
 PO BOX 3090
 PALOS VERDES PEN, CALIF 90274

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

City of Rancho Palos Verdes
Mr Joel Rojas and Ms Leza Michail
Director of Planning, Building and Code Enforcement
30940 Hawthorne Blvd.
Rancho Palos Verdes, California 90274
Attn: Director of Planning and Zoning and Ms Leza Michail

Dear Mr Joel Rojas and Ms Leza Michail,

We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We have concerns that the recent redesigned proposed St John Fisher construction imposes significant and adverse impacts on the surrounding community. Hence we asked that the Commission not to approve the construction until these significant and adverse impacts are eliminated.

The concerns are over the issues of traffic, parking, noise, loss of property values, neighborhood compatibility, location, bulk, size, mass and height of the proposed redesigned St John Fisher construction.

In accordance to the California Environmental Quality Act (CEQUA), there must be Environmental Impact Reports (EIR), prepared prior to the City granting approval for construction. We request that these EIR studies be done as it pertains to our concerns of traffic, parking, noise, loss of property values, neighborhood compatibility, location, bulk, size, mass and height of the proposed redesigned St John Fisher construction.

Once again, we have concerns that the recent redesigned proposed St John Fisher construction imposes significant and adverse impacts on the surrounding community and **request that EIR Studies be done as required by CEQUA.** Hence we asked that the **Commission not to approve the construction until these EIR studies are done and that all significant and adverse impacts are eliminated.**

Sincerely,

Joel LONG
[Signature]
9/15/2008
PO Box 3098
Palos Verdes Peninsula, Calif 90274

RECEIVED

SEP 15 2008

Tom & Betty Coull

49 Santa Catalina Drive - Rancho Palos Verdes - California 90375 PLANNING, BUILDING AND ENFORCEMENT

Tel: 310-541-2878

Fax: 310-544-4186

email: Betty : coulltoo@cox.net

email: Tom: coullone@cox.net

To: JOE ROJAS

Fax No: 310-544-5293

DIRECTOR OF PLANNING

Number of Pages (including coversheet):

RE: ST JOHN FISHER PROJECT

PLEASE INCLUDE THE ATTACHED IN THE

ST JOHN FISHER FILE FOR YOU AND

THE COMMISSION.

Thank You!

Betty Coull

CONFIDENTIALITY NOTE: The information contained in this FAX transmission is legally privileged and confidential information intended only for the use of the individual or entity named above. If the reader of this transmission is not the intended recipient, you are hereby notified that any use, dissemination, distribution or copying this transmission is strictly prohibited. If you have received this transmission in error, please immediately notify us by telephone and return the original transmission to us at the address above via the United States Postal Service. Thank you.

Tom and Betty Coull
49 Santa Catalina Drive
Rancho Palos Verdes
California 90275
310-541-2878

September 12, 2008

Mr. Joel Rojas
Director of Planning, City of Rancho Palos Verdes
30940 Hawthorne Boulevard
Rancho Palos Verdes, CA 90275
To: Planning Commission

Ref: Shadow Study of John Fisher Church Project by Dudek

Dear Sir,

A review of the shadow study prepared by Dudek indicates that the writer of this report may be confused as to the direction of the shadows that are cast from this project. The four homes we believe that are being addressed, in the summary of this study, are on the west side of Crenshaw and it does appear that new shadows on the Island View property would occur as a result of placing the sanctuary in this location outlined in this study. There is no specification in the study as to the height of the new landscaping or what height value they used for the existing landscaping. Trees grow and I have personally observed that the trees that presently exist do cover Island view property in the morning in August hence the reason for my suggestion that a study be done to determine the coverage at the winter solstice while incorporating the new plans for the sanctuary. They have also selectively shown what the coverage is at 9:00 am and not at an earlier time. Two or three hours of shade are shade time that the present home owners do not have at this time and if this is the case this would have a direct impact on them being able to have the full enjoyment of their home and back yards as they have experienced in the past 20+ years.

Another issue to consider is the inability of a homeowner to install solar power panels on their roofs in order to reduce their dependence on commercial power because of this potential increase in shade time.

One other consideration is that there is a considerable amount of fog that collects at certain times of the year at the top of Crenshaw Boulevard and the longer this area is in the shade, especially at the intersection of Crest

Page 2.

Road and Crenshaw Boulevard the longer it will take for the warmer air to penetrate the atmosphere and clear this condition: just an additional traffic hazard if the sanctuary is built where it is presently planned.

By placing the sanctuary so close to the corner of Crenshaw and Crest and the ability of church members to be able to walk around this building at an elevation 30 or 40 feet above the residences in Island View is something that does not exist today and would have an adverse effect on privacy of our homeowners.

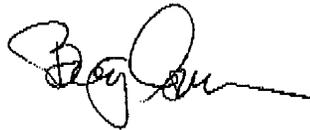
If the issue of building a new sanctuary had been brought to the neighbors, two years ago, when all of the various designs and locations were being discussed St. John Fisher congregation would have saved a lot of money and all of the neighbors would be affirmative to their needs.

I know of no person that is against the church or for that matter any church that wants to try to attract or accommodate new member; it just so happens that St. John Fisher tried to accomplish this task by not involving anyone outside of their church.

The obvious solution to this issue is to relocate the sanctuary by moving it back into the 9.5 acres that they have on the St. John Fisher church property.



Tom and Betty Coull



Leza Mikhail

From: Judge O'Brien [gobrien@adrservices.org]
Sent: Monday, September 15, 2008 4:13 PM
To: LezaM@rpv.com
Cc: 'Carolyn O'Brien'
Subject: St. John Fisher

Dear Ms. Murphy:

As a member of St. John Fisher Parish, I support its application for a conditional use permit to build a new church. In considering such issues as the height of the bell tower, shadow, noise, etc., if it has not already done so, I would suggest that the staff compare the proposed structure to other churches in the community. Thank you.

Gregory C. O'Brien, Jr.

Leza Mikhail

From: Carolyn O'Brien [obrien537@cox.net]
Sent: Monday, September 15, 2008 3:51 PM
To: LezaM@rpv.com
Subject: St. John Fisher's new church

Dear Leza

I would like to voice my support for the new church that is being proposed by St. John Fisher.

I have been a member of the parish for eight years and have been very impressed with all the input that the building/planning committee has gone to in order to provide a church and other facilities that meet the needs of ALL the parishioners. It is not a project that was proposed by a few who felt that they knew what was best for the parishioners. They solicited input from everyone and had many meetings where all the parishioners could attend to make sure that the project would meet everyone's needs. In addition, they made sure that they had the financial support from the members of the church to make this project possible before they went forward with it.

Thank you.
Carolyn O'Brien

Leza Mikhail

From: Mike Plewacki [mplewacki@cdc-usa.com]
Sent: Monday, September 15, 2008 3:17 PM
To: Lezam@rpv.com; pc@rpv.com
Cc: jeff@jefflewislaw.com; pltetreault@netzero.com; davidltomblin@sbcglobal.net
Subject: Saint John Fisher

Dear Planning Commission Members,

I am writing you today to voice my support for the proposed construction project at Saint John Fisher Church.

I have had the opportunity to review the design development drawings along with the master plan and I truly believe that this project will be a cultural and architectural asset to our community.

As a building professional I have had the opportunity to work on construction projects in several exclusive residential areas throughout Los Angeles and know all too well the obstacles faced by a community during the construction phase of a project as well as the concerns and apprehensions of the adjacent residents. However, I have seldom seen a project such as that proposed by Saint John Fisher not meet the overwhelming approval of the community once built.

I believe many of the objections raised to this construction may be from members of the community who have a skewed perception of how a large construction project such as this is managed. This is not to a poor reflection on our neighbors; their opinions are largely based on their experience with residential construction, and small projects. On such projects there is seldom the oversight, planning, management and compliance found on large projects built by a well respected professional contractor, with architectural oversight and community based owner representation.

A project with such a scope as that proposed mandates a contractor with a high level of sophistication who understands local code requirements and experienced in matters of compliance. It has been my experience that with such communities concerns are addressed and objections overcome as they witness how a project such as Saint John Fisher is managed. This is especially true where there is a community based owner such as the parish building committee and their representatives.

Please consider this project for approval as I believe it will further enhance our community.

Thank you,

Michael Plewacki, MBA
2357 Palos Verdes Dr. W #6
Palos Verdes Estates, CA 90274

Leza Mikhail

From: LBarlock@aol.com
Sent: Monday, September 15, 2008 2:32 PM
To: pc@rpv.com
Cc: LezaM@rpv.com
Subject: St John Fisher Building Modernization Project

My husband, Lawrence Barlock, and I, Rose Barlock, are writing the members of the Planning Commission to voice our support for the St. John Fisher project. The pastor and church membership have listened to comments from the surrounding community and have been very willing to compromise and modify the plans in response to community comments. There are over 2000 families in Palos Verdes that this church serves and we stand with them in the belief that this church project will greatly benefit our whole community since the project will enhance the spiritual, educational, and moral welfare of all Palos Verdes residents.

We recommend that you approve this project.

Rose Barlock
Lawrence Barlock
28070 Santana Dr.
Rancho Palos Verdes

Psssst...Have you heard the news? There's a new fashion blog, plus the latest fall trends and hair styles at StyleList.com.
(<http://www.stylelist.com/trends?ncid=aolsty00050000000014>)

Leza Mikhail

From: Heather Burr [heatherburr@cox.net]
Sent: Monday, September 15, 2008 2:14 PM
To: Leza Mikhail
Subject: St. John Fisher Project

Sept. 15, 2008

Dear Ms. Mikhail,

This letter is to express my strong support for the St. John Fisher Church project. As an Island View resident, I attended their meeting yesterday with the 3D model and question and answer session. I have looked at the original plan, revised plan, the bell study and the shadow study. It seems to me that St. John Fisher has made many compromises to address the concerns of neighbors, and I don't see any negative effects from noise or shadow.

I have also had meetings with other neighbors. Two things strike me after attending the church meeting and also hearing from those opposed. The first thing is that many neighbors are complaining about hearing noise and sermons from the existing church. The noise should be less from the new church as it will be further away from neighbors and no speakers on the outside. Secondly, it should be pointed out that all these neighbors complaining chose to buy a house next to a church and school that had existed for at least twenty years prior to the residences being built. That was their decision, and the church should not be penalized by their complaints now. I truly believe whatever concessions the church makes, will not satisfy those opposed.

I do believe that this project will be a lovely addition to my neighborhood. I hope the vocal complaints of a few, including those with a religious bias, do not affect this project from going forward. Thank you for your time, and I hope you approve this project.

Sincerely,
Heather Burr
46 Santa Barbara Drive
Rancho Palos Verdes, CA 90275

Leza Mikhail

From: Maryann Young [myoung@bizla.rr.com]
Sent: Monday, September 15, 2008 1:49 PM
To: LezaM@rpv.com
Subject: St John Fisher building project

Dear Ms Mikhail,

My family, which includes two children ages 10 and 14, have been going to St John Fisher for over 10 years. We have felt the church has given us strong moral support and help raise my children to be strong citizens. In the interest of the community I can only see what a huge positive influence St John Fisher will be. The building project needs to pass and I just wanted you to let you how important it is for our family. Thank you.

Sincerely Yours,

Maryann Young.(A resident in the Palos Verde District.)

Leza Mikhail

From: Sara Bowlus [grandmasara1@verizon.net]
Sent: Monday, September 15, 2008 12:48 AM
To: Stephan Perestam; Leza Mikhail; Bill Gerstner; Jim Knight; Edward Ruttenberg; Jeffrey Lewis; Paul Tetreault; David Tomblin
Subject: St. John Building Plan

Dear Planning Commission members,

I am writing on behalf of the plans for St. John Fisher Parish' proposed facility. I moved to Rancho Palos Verdes in 1969 and raised 4 children here. Since moving here I have been a member of St. John Fisher Parish. We added a parish hall during this time, but have never replaced the current sanctuary which from the inception of the parish was meant to be temporary. We now wish to use it as a facility for the school children as originally intended and build the church. The architects who designed the church met with all the parishioners who wished to attend and considered our needs before submitting the plans to the city. It is a great disappoint to me that neighbors who have not complained about the behavior of our members are suddenly trying to be our adversaries. I hope they are few in number as we have many families who have dreamed of having such a beautiful church for many years and have sacrificed to collect funds to have this project.

We have heard no complaints in the past about parking or traffic. Since our parish has never had a drive to increase our membership, the number of people attending services will remain within the current amount. I happened to be on the church property when the carillon bells were being tested. The sound was melodious and subdued. I live in Stoneridge and I remember the carillon bells at the Lutheran church on Armaga Springs Road. They were beautiful and I miss hearing them because someone in Casa Verdes complained.

Will our community be known as a welcoming neighborhood, respecting our differences? I would like to think so. Please do not disappoint those of us who want a beautiful place of worship.

Sara Bowlus 310-541-2767
28427 Quailhill Dr.
Rancho Palos Verdes

Leza Mikhail

From: ann@delorenzomarble.com
Sent: Monday, September 15, 2008 1:01 PM
To: LezaM@rpv.com
Subject: St. John Fisher building project

To: Leza Mikhail, Associate Planner

From: Antoinette De Lorenzo
8 Santa Cruz, R.H.E. 90274

I would just like to say that I am in favor of St. John Fisher Church building project. I feel that it is a beautiful design and that it will add beauty to our community. I don't see any problem, because it is not obstructing anybody's view. Thank you, Antoinette De Lorenzo

Leza Mikhail

From: Sjf5448@aol.com
Sent: Monday, September 15, 2008 12:45 PM
To: daveTomblin@sbcglobal.net; jeff@jefflewislaw.com; pltetreault@netzero.com; Jim Knight; lezam@rpv.com
Cc: Bill Gerstner; StephenPrestam
Subject: St. John Fisher Building Project

To the Planning Commission,

I am writing this letter in support of the St. John Fisher Building Project.

I believe that St. John Fisher Church, having been on the same location since the 1960's, the building of the new Church as planned is the perfect site; views are not impacted; traffic is as is; and the religious services and other activities happen at different times. Car pooling of pre-school children are recommended and practiced by the school children.

At the same time, if I may, can I recommend that we do not run the meeting over 12 midnite, as people do go to work or school and other activities the next day; it being a weekday? Also, can the open agenda speakers be so arranged so as to alternately hear those who oppose and those who are for the project?

Once again, I am identifying myself as a supporter of the new and improved and beautiful Catholic Church Building at the corner of Crest and Crenshaw.

Emma Bulala

Psssst...Have you heard the news? [There's a new fashion blog, plus the latest fall trends and hair styles at StyleList.com.](#)

Leza Mikhail

From: Maude Landon [maudelandon@yahoo.com]
Sent: Saturday, September 13, 2008 3:22 PM
To: lezam@rpv.com
Subject: SJF Church Proposed Development
Attachments: SaintJohnFisherletter9-16-09.doc

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Leza,

Please find a letter of response to the revised Saint John Fisher Church expansion proposal. I would like to have this included in the letters that the Commissioners will receive by the September 16 deadline.

Thank you,

Maude Landon
Island View resident

Maude Landon
34 Santa Barbara Drive
Rancho Palos Verdes, CA 90275

RECEIVED

SEP 15 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

September 13, 2008

Leza Mikhail/Joel Rojas
Stephen Perestam
Bill Gerstner
Jim Knight
Jeffrey Lewis
Edward A. Ruttenberg
Paul Tetreault

As a resident directly affected by the Saint John Fisher Church proposed development, I have a number of concerns.

Parking: The church has requested to augment the seating capacity of its sanctuary from 650 to 870 and decrease the size of the parking capacity from 359 spaces to 331. **Something must be wrong with their parking analysis.** During the Christmas and Easter holidays when the sanctuary is filled to its capacity of 650 people, the current parking lot of 359 spaces is not nearly large enough; the church parking overflows into the surrounding neighborhoods. Crenshaw Blvd. is lined on both sides of the street, as are the residential side streets of Valley View and Island View developments with the cars of church attendees. One of the major reasons, according to the church, for wanting a new larger sanctuary is so that they may reduce the number of services. If the church reduces the number of services so as to need a sanctuary that holds more than 650 people (870), it is only **common sense** that the weekly parking situation will be more crowded than it, currently, is during the Christmas and Easter holidays. This would be intolerable for the neighbors on a weekly basis. We tolerate it now because it is only a rarity.

Traffic: With the addition of the RPV Portuguese Bend Nature Preserve and Del Cerro Park weekend parking at the end of Crenshaw Blvd., Crenshaw will be lined with cars every weekend and traffic conditions may become a serious problem.

Proposed Sanctuary Location: The church proposes to construct a sanctuary that will be 17,000 square feet with a 74 foot tower and steeple. The new sanctuary, because it is proposed on the corner (Crest Road and Crenshaw Blvd.), would tower over residences across the street in the Island View where the ground level is 20 feet below the proposed sanctuary building pad, thus making the height and bulkiness appear even higher. This is a problem that cannot be mitigated unless the proposed sanctuary is relocated more in the middle of the property. The height of the structure in a residential neighborhood is not consistent with the Rancho Palos Verdes General Plan of community compatibility, especially considering that the area is composed exclusively of single-family homes, many of which are only one story high. To be a good neighbor, the church needs to listen to its neighbors' concerns and relocate the new sanctuary. There are at least two possible relocation sites on the churches 9.2 acres.

Facilities: During the holidays when church attendance is at its highest, there is nothing to keep the church from adding chairs to the current sanctuary (proposed gymnasium) and using the space for additional concurrent services. There would possibly be as many as 1520 (650 + 870) parishioners at the church at the same time, overwhelming the surrounding neighborhoods with traffic, parking and noise problems.

Stairs: The current proposal has steps at the corner of Crest Road and Crenshaw Blvd. This will encourage the churchgoers and visitors to park on the street instead of the parking lot, thus creating traffic congestion as well as an unnecessary aesthetic problem for the surrounding residential neighborhoods. Even one of the RPV Commissioners admitted that he often parks on the street instead of the parking lot to prevent having to wait in a line of cars to leave the church following services. The addition of the steps will only exacerbate this practice.

Sincerely,


Maude Landon

Leza Mikhail

From: PV Mellings [pvmellings@yahoo.com]
Sent: Monday, September 15, 2008 12:26 PM
To: pc@rpv.com; LezaM@rpv.com
Subject: St John Fisher building project

Dear Sirs, our family members have been parishioners at St. John Fisher (SJF) for 10 years and we are writing to you in support of the application for the new church which we urge you to support, both as parishioners and as RPV residents and tax payers.

The SJF church compound has been part of the community for a long time and nothing is changing in that, e.g. the traffic impact will not change. The rebuilding is something that is overdue and necessary for the continuation of the parish, and the planned church should have a positive effect on the neighborhood, to have a new improved church replacing what feels like a temporary building which has little architectural merit. Having a statement building will definitely improve the area and the intersection, and will render the church more in keeping with the neighboring religious buildings and more on a par with neighboring Catholic churches such as those in Torrance and San Pedro.

There will be a carillon which I gather has drawn comment: apart from the fact that the church should have had bells already, this should be a positive (and occasional) contribution rather than something to be prevented, and certainly quite minimal compared to the true noise which occurs constantly at the Crest/Crenshaw intersection. I live overlooking Malaga Canyon and every Sunday morning have the carillon from the Pacific Unitarian Church on Montemalaga drifting up the canyon - it would not occur to me to object to it, it is part of the fabric of the town, and is certainly a plus. That is also by a densely-built neighborhood, unlike SJF, so what is good for the Unitarians should be good for the Catholics.

Though not strictly a core planning issue, in these days when politicians are constantly emphasising matters of faith, I think the commission should also be seen as encouraging: I would hate to think that my town was like my town in England, Hove, where the Catholics were forced to sell their prime site next to the town hall and build the Sacred Heart church tucked away up a side street - mind you, that was the 1880s in England, but things should be better now!

Thank you for your consideration

Gerard and Mary Melling and family
26600 Menominee Place
Rancho Palos Verdes CA 90275

Leza Mikhail

From: Teresa Bayuk [tabayuk@cox.net]
Sent: Monday, September 15, 2008 11:59 AM
To: pc@rpv.com; LezaM@rpv.com
Subject: St. John Fisher Building Program

I urge you to support and vote in favor of the new church and building improvements in the planning stages for St. John Fisher parish. Our parish does a lot of good for our community, and has always tried to be a good neighbor to the residents who live in the area. We are the only Catholic parish on the hill, and since our inception, have not had services in a building designed to be a church. We are excited about finally having our own church in which to hold Masses, weddings, and funerals. Please support us in our endeavor as we go about the work of God in our community and in our world.

Thank you!

Teresa Bayuk
RPV resident and St. John Fisher parishioner

Leza Mikhail

From: John Rusnak [johnrusnak@earthlink.net]
Sent: Monday, September 15, 2008 11:13 AM
To: lezam@rpv.com
Subject: St. John Fisher Church

Hello Leza:

My name is John Rusnak, I am a parishioner, and the organist and pianist, at St. John Fisher Parish in Rancho Palos Verdes.

I am writing to express my support for the new proposed church design for St. John Fisher Parish at 5448 Crest Road. The new church design proposal, while exemplifying the traditions of the Roman Catholic faith and the specific Vatican II changes of the last 45 years, will be a beautiful and inspiring place of worship for all who enter there. This new, welcoming church space will provide a prayerful and contemplative place for all residents of Rancho Palos Verdes, and would particularly serve as the center of a very dynamic Catholic community that is so alive in the city.

I am casting an enthusiastic "yes" vote for the current church design which has been proposed, including the bell tower-something that Catholic Churches, historically and traditionally, have had as an architectural component. Other Catholic churches that I have played for, which have bell Towers, include St. Basil's on Wilshire Boulevard, Incarnation Church in Glendale, St. Monica's in Santa Monica, the San Fernando Mission in Mission Hills, St. Lawrence Martyr in Redondo Beach, St. Finbar in Burbank, and many others.

This new church design allows the community of St. John Fisher to continue to grow and to reach out in faith to the surrounding area. The new church will also meet the needs of parishioners now and in the future.

Thank you for your time in this matter.

Sincerely,

John Rusnak
818.563.6546

NOTE: This letter is not to be published or reprinted without the consent of the author.

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, September 15, 2008 11:03 AM
To: 'Leza Mikhail'
Subject: FW: St. John Fisher Building Proposal

From: Nelma FitzGerald [mailto:NFitzGerald@linexmail.com]
Sent: Monday, September 15, 2008 10:43 AM
To: pc@rpv.com
Subject: St. John Fisher Building Proposal

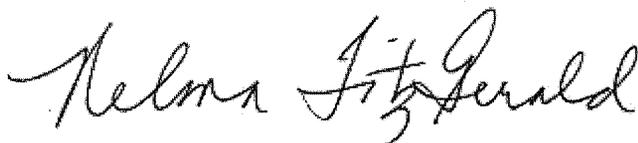
Dear Planning Commission,

My husband and I are parishioners at St. John Fisher in Palos Verdes. We have a 7 and a half year old son who goes to the Parish School there too.

I am writing today in support of the building of the new church. We have been through a lot of trials in the last 3 years -- my father died of prostate cancer, my mother is very ill with diabetes and a broken back and I was diagnosed with and went into a long drawn treatment for breast cancer. St John Fisher has been our rock though all of our trials -- it is much much more than just a church. We have searched far and wide for a church that would give us the encouragement to go on with life and it is in St. John Fisher that we found it. SJF has inspired us to not only give back to the church itself and its immediate community but also to spread the good deeds to other areas as well. SJF gives so much to other people -- people of all faiths and denominations.

Please consider the approval of the building of the church. It is much more than a building, it is a place where good will abound, thrive and propagate. There are very few such places in the world left, why not help in creating one?

Thank you so much for your consideration.



Nelma FitzGerald
Vice President, Marketing
LINE-X Franchise Development Corporation
6 Hutton Centre Drive Suite 500, Santa Ana, CA 92707
800.831.3232 Office 714.380.5046 Direct
714.545.1275 Fax
714.474.1185 Mobile
nfitzgerald@linexcorp.com
www.LineX.com

Leza Mikhail

From: Babek, Rob [RBabek@sjaccounting.com]
Sent: Monday, September 15, 2008 10:21 AM
To: LezaM@rpv.com; pc@rpv.com
Subject: Saint John Fisher Parish

To Leza Mikhail and the Rancho Palos Verdes Planning Commission,

I am writing to you to show my support for the Saint John Fisher Parish improvements. I have been a resident of Rancho Palos Verdes almost my entire life and I attend church at Saint John Fisher on a weekly basis . I think it is a disgrace for people living around the church to oppose the construction that is being proposed. The original Church was built long before most of the homes in that area and the church should have the right to improve the property as long as it meets building code guidelines. The fact that some of the people living around the area are concerned about the new church casting a shadow on their residences is ridiculous, as is the concern that the new church bells are going to bother them. These people bought their homes knowing that a church was nearby and should accept that fact. It saddens me to see how many people oppose anything that has to do with God. I appeal to you and ask that you approve the proposed improvements requested by Saint John Fisher Parish and be proud that the new church will be an improvement to our entire community.

I strongly urge the Planning Commission to vote for these improvements and allow Saint John Fisher Parish to grow and improve our beautiful city.

Sincerely,

Robert L. Babek
 Rancho Palos Verdes, CA

**Rob Babek**

CPA, MBT
 Principal
 Direct 310-432-7430
 Fax 310-432-7516
RBabek@sjaccounting.com

Stonefield Josephson, Inc.

2049 Century Park East Suite 400
 Los Angeles, CA 90067
 Office Main 310-453-9400
www.sjaccounting.com

Los Angeles - Orange County - San Francisco - East Bay - Silicon Valley - Hong Kong

This message is for the named person's use only. It may contain sensitive and private proprietary or legally privileged information. No confidentiality or privilege is waived or lost by any mistransmission. If you are not the intended recipient, please immediately delete it and all copies of it from your system, destroy any hard copies of it and notify the sender. You must not, directly or indirectly, use, disclose, distribute, print, or copy any part of this message if you are not the intended recipient.

IRS Circular 230 Disclosure: To ensure compliance with Treasury Department regulations, we wish to

inform you that any tax advice that may be contained in this communication (including any attachments) is not intended or written to be used, and cannot be used, for the purpose of (i) avoiding tax-related penalties under the Internal Revenue Code or applicable state or local tax law provisions or (ii) promoting, marketing or recommending to another party any tax-related matters addressed herein.

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, September 15, 2008 10:15 AM
To: 'Leza Mikhail'
Subject: FW: St. John Fisher project

From: Yolanta Schwartz [mailto:ys@cityofrh.net]
Sent: Monday, September 15, 2008 8:17 AM
To: Joel Rojas
Subject: St. John Fisher project

Joel, in the Peninsula News on Thursday, under City Beat was an article about this project and the noise study. The study mentions that the bell sounds are "well below the City of Rolling Hills' municipal code daytime 65-dBA noise level allowed."

The consultant has this wrong, the City of Rolling Hills does not have a noise ordinance. We have a noise element in the General Plan, but it does not refer to any acceptable or not acceptable or quantitative decibel levels. It only describes existing conditions, (1990).

Please assure that this is taken into consideration and corrected in the report when discussing the bell sound levels.

The City's position is to object to the bells altogether.

Thank you

Yolanta Schwartz
Planning Director
City of Rolling Hills
2 Portuguese Bend Road, Rolling Hills, CA 90274
(310) 377-1521 x 223 Fax: (310) 377-7288

This is a transmission from the City of Rolling Hills. The information contained in this email pertains to City business and is intended solely for the use of the individual or entity to whom it is addressed. If the reader of this message is not an intended recipient, or the employee or agent responsible for delivering the message to the intended recipient and you have received this message in error, please advise the sender by reply email and delete the message.

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, September 15, 2008 10:11 AM
To: 'Leza Mikhail'
Subject: FW: Building Project at St. John Fisher Catholic Church

From: Carole and Joe Watson [mailto:joewatson@cox.net]
Sent: Sunday, September 14, 2008 5:00 PM
To: pc@rpv.com
Subject: Building Project at St. John Fisher Catholic Church

Have you even looked at the rendering of the proposed new church. We think it's the most beautiful building we've seen anywhere in this area. We would love to have it located near us because it's so special and we'd love to show it to our friends who visit. I can't imagine why any of the people in that area would object to it. Listening to the bells would be a pleasure too. If it's necessary to cut down on the amount of ringing, then we could accept that, but to shorten the height of the tower which is no higher than some other churches around here would ruin the summity of the building. Please, please allow this project to go through as planned. By the way, my husband is Methodist and he felt so strong about the value of this project that he has attended the City Planning Commission meetings to support it.

Mrs. Joe C. Watson
310-544-4857

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, September 15, 2008 10:10 AM
To: 'Leza Mikhail'
Subject: FW: To All Members of the Planning Commission

From: Marylou and Jim Sweeney [mailto:tahoe75@cox.net]
Sent: Sunday, September 14, 2008 3:02 PM
To: pc@rpv.com
Subject: To All Members of the Planning Commission

TO: Members of the Rancho Palos Verdes Planning
Commission

FROM: James A. Sweeney
30903 Via Rivera
Rancho Palos Verdes, CA 90275

DATE: September 14, 2008

RE: St. John Fisher Church

St. John Fisher Church has gone through many changes since the 1970's. Originally, the church was housed in the St. John Fisher Parish School's gymnasium. Over the years the church has improved, but now is the opportunity to fulfill the founding pastor, Msgr. McCarthy's dream to have the church completed.

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, September 15, 2008 10:10 AM
To: 'Leza Mikhail'
Subject: FW: St. John Fisher

From: Mary Douglas [mailto:cdoug@cox.net]
Sent: Sunday, September 14, 2008 1:57 PM
To: pc@rpv.com
Subject: St. John Fisher

To the Planning Commission:

I am a resident of Rancho Palos Verdes. I am in favor of the St. John Fisher Building Project which I feel will be a beautiful addition to our city.

I feel the church has gone overboard to meet and rectify the concerns of surrounding neighbors. From what I have read the effect of this church on the neighbors is so minimal they will hardly realize its presence any more than the present church. The bells will be heard only slightly. Shadows will not negatively impact neighbors. Views will not be obscured. Traffic will remain the same. I cannot see how this building project can be viewed as anything but a positive for the city of Rancho Palos Verdes.

I feel the church is trying in every way to comply and to be a good neighbor to all. Therefore, I urge you to have a vision toward the future and beauty of our city and approve the St. John Fisher Building Project.

Mary K Douglas
21 Via San Remo
Rancho Palos Verdes, Ca. 90275
310-377-2195
310-701-2927
cdoug@cox.net

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, September 15, 2008 10:10 AM
To: 'Leza Mikhail'
Subject: FW: St.John Fisher Master Plan

From: Paul Kearney [mailto:paulkearney@cox.net]
Sent: Sunday, September 14, 2008 1:53 PM
To: pc@rpv.com
Subject: St.John Fisher Master Plan

Members of the Planning Commission:

As residents of Rancho Palos Verdes for its entire existence and members of the St. John Fisher parish for longer, we are writing to support the parish application for approval of the plans for a new church and other changes.

The parish has been very responsive to the requests of the Commission and has been sensitive to the expressed concerns of some of the nearby residents. Significant changes have been and will be presented to you by the parish to respond to these matters. Meetings with the neighbors have been initiated to allow discussion of the plan and to provide additional information on studies performed on the matters of concern.

We ask that you take into consideration not only the usual aspects relative to the city requirements and the physical affect on nearby residents but also the cultural position of the St. John Fisher parish in the community and the benefits conferred on the most needy of our community as well as the needs of the parishioners in our religious and charitable activities. These factors lead to inclusion of aspects in the master plan which go beyond the kind of plans needed for an office or residence.

We are proud to be members of the Rancho Palos Verdes community and the St. John Fisher community and have always felt these associations to be mutually beneficial. We are confident that this mutuality will be achieved in your review process and recommendation to the City Council.

Thank you.

Mary & Paul Kearney
28435 Covecrest Drive
Rancho Palos Verdes, CA 90275

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, September 15, 2008 10:10 AM
To: 'Leza Mikhail'
Subject: FW: St. John Fisher/PLANNING COMMISSION HEARING

-----Original Message-----

From: Janice Brandmeyer [mailto:jbrandmeyer@cox.net]
Sent: Sunday, September 14, 2008 12:49 PM
To: pc@rpv.com
Subject: St. John Fisher/PLANNING COMMISSION HEARING

TO THE RPV PLANNING COMMISSION
C/O LEZA MIKHAIL

AS A ST. JOHN FISHER PARISH MEMBER AND A RESIDENT OF THE PALOS VERDES COMMUNITY FOR 40 YEARS, I WISH TO VOICE MY HUSBAND'S AND MY SUPPORT FOR THE PROPOSED ST' JOHN FISHER CHURCH AND RELATED CAMPUS IMPROVEMENTS. THERE HAS BEEN A

THOROUGH EVALUATION OF THIS ENTIRE PROJECT BY PROFESSIONALS AND PARISH VOLUNTEERS AS WELL, WITH CAREFUL CONSIDERATION OF ANY INFRINGEMENT ON THE PRIVACY OF LOCAL NEIGHBORS.

WE FELT THE NEW CHURCH AND ACCOMPANYING PROJECTS WILL GIVE THE PARISH MEMBERS A MORE COMPLETE FACILITY IN WHICH TO WORSHIP, ENRICH OUR FAITH,

HOST COMMUNITY GATHERINGS (INCLUDING EDUCATIONAL OPPORTUNITIES) PROVIDE MUCH NEEDED SPACE FOR THE TEENAGE PARISHIONERS TO GATHER, AND ADD GREATLY TO THE AESTHETIC QUALITIES OF THE PALOS VERDES COMMUNITY AT LARGE.

WE STRONGLY URGE THE ENDORSEMENT OF THIS PROJECT BY THE RANCHO PALOS VERDES PLANNING COMMISSION.

JANICE AND BRIAN BRANDMEYER
310 373-4807

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, September 15, 2008 10:09 AM
To: 'Leza Mikhail'
Subject: FW: St. John Fisher building project

-----Original Message-----

From: Joseph Gietzen [mailto:familycircus8@verizon.net]
Sent: Sunday, September 14, 2008 10:54 AM
To: pc@rpv.com
Subject: St. John Fisher building project

Dear Planning Commission,

I am writing to show my support for the St. John Fisher building plan. This building will be a great asset to the peninsula in general and to my family in specific. Thank you for your consideration and I ask for you to please approve the building plan for our new church.

Thank you, on behalf of my church and my family,

Susan Gietzen
familycircus8@verizon.net

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, September 15, 2008 10:04 AM
To: 'Leza Mikhail'
Subject: FW: St John Fisher

-----Original Message-----

From: Bo Bowlus [mailto:enginebo1@verizon.net]
Sent: Saturday, September 13, 2008 8:27 PM
To: pc@rpv.com; Bo Bowlus
Subject: St John Fisher

September 13, 2008

City of Rancho Palos Verdes Planning Commission

Rancho Palos Verdes City Hall

30940 Hawthorne Blvd.

Rancho Palos Verdes, CA 90275

Re: St John Fisher Church Plans

Dear Commissioners;

I am a thirty nine year resident of Rancho Palos Verdes and feel that my opinions are as important as the new resident's. When I moved to the area it was known that a church was planned for the corner of Crest and Crenshaw. It seems to me that it is the responsibility of a buyer to check out the neighborhood and determine if there is, in his mind, a possibility of objective improvements and then decide if they can live with that possibility.

Having attended the first planning commission meeting and other information available to me I feel St. John Fisher Church has been extremely cooperative in meeting the requests made for changes and additional information. It is my understanding that the request for a sound and shadow study have been completed and submitted with no material adverse effects on the neighborhood. All other items such as parking, traffic and construction hours are within the city codes.

It appears to me that not only St. John Fisher but other religious organizations have had an especially difficult time in getting approval for their needs. This sounds to me as "not in my backyard". The new church is an outstanding design and not a "cookie cutter".

I hope that at the commission meeting on Sept. 24th a positive vote to proceed will be given to St. John Fisher Church.

Very truly yours,

M. A. Bowlus

28427 Quailhill Dr.

Rancho Palos Verdes, CA 90275

310-541-2767

Leza Mikhail

From: brianvini [leamy@cox.net]
Sent: Monday, September 15, 2008 10:00 AM
To: pc@rpv.com; LezaM@rpv.com
Cc: lhuntcounts@aol.com
Subject: St. John Fisher Project

I am sending this email in support of the above project which includes a new Church, expanded school facilities and a gymnasium (converted from existing church).

The Planning Committee for this project has given great consideration to the objections raised by a number of nearby residents, and we believe that their serious objections have been met by modifications to the plans which eliminate the "shadow" objection and also to a great extent reduce the sound effect of carillon bells.

In addition of course the completed plan will provide additional recreational facilities for the young folk of the area (Gym) and will provide a well designed church, school, and a modern parochial area for our very large Catholic community.

Sincerely, Brian Leamy.

Leza Mikhail

From: Flora Quibuyen [floraquibuyen@gmail.com]
Sent: Monday, September 15, 2008 9:48 AM
To: LEZE MIKHAIL
Subject: re:St. John Fisher Church

Dear Madam: Hello, good morning. My husband and me and our 3 adult children are in favor of the St. John Fisher Building because of these following reason. 1. The site is a perfect location for a church. 2. The views are not impacted because there is so much open space in that corner. 3. This church has been has been a good neighbor for decades. 4. Since religious services and other activities happen @ different times, there is no problem with parking and traffic. 5. The new architectural addition will create a positive aesthetic impact because it will be replacing a decades old sign. 6. The views of the single family homes immediately south of the church on crenshaw will not be impacted because of the orientation of the building and the fact that they are located in a recessed area. 7. This church community has no complaints about noise ,parking ,traffic , hence the church community has a good track record. 8. Parking is more than adequate. Thank you very much for your consideration. JIM and FLORA QUIBUYEN and 3 children.

Leza Mikhail

From: padraighart@aol.com
Sent: Monday, September 15, 2008 8:23 AM
To: pc@rpv.com; LezaM@rpv.com
Subject: Saint John Fisher Building Plan
Attachments: SJF ltr to RPV Planning Commission C.doc

Dear Commissioners,

Attached is my letter expressing my support for the proposed Saint John Fisher Building Plan, and I am asking that you approve this plan without delay.

Very truly yours,

Patrick J Hart
300 Via Corta
Palos Verdes Estates
310-373-2109

Looking for spoilers and reviews on the new TV season? [Get AOL's ultimate guide to fall TV.](#)

September 15, 2008

Planning Commission
City Of Rancho Palos Verdes
30940 Hawthorne Blvd
Rancho Palos Verdes, CA 09275

Dear Commissioners,

I have been a parishioner at Saint John Fisher since 1975, and I have first hand knowledge of the existing physical plant, the existing physical needs and the proposed building plan. I do rely on the several architectural and engineering specialists for opinions in their areas of expertise. And I understand from these people whose opinion I trust that our building plan is in compliance with all codes and laws, and that this compliance is in the spirit of and not merely the letter of these codes and laws.

St John Fisher is at the center of my life and has been since I moved to the Palos Verdes Peninsula, and I know this is true of countless others as well. I have witnessed and been a part of Saint John Fisher's adult education programs and community outreach programs. I have experienced and seen how the Saint John Fisher community informs, inspires, and nourishes individuals such as myself who work to address social ills that impact everyone including people in our neighborhoods who are not Catholics, who are members of other denominations and faiths or who are not members of any faith. I witness parishioners in ministries who are dedicated to serving the underprivileged, who are volunteering in soup kitchens and organizing food drives to feed the poor in the South Bay, Harbor, and downtown Los Angeles areas, who work in medical clinics in these same areas and Mexico volunteering professional pediatric, dental, immunization and other medical services to individuals and families who are unable to afford these services, who make monthly trips to orphanages in Mexico to provide material and emotional support to the children and the staff, who daily visit the homebound and the elderly in retirement homes, who raise money to meet the needs of the poor and impoverished in Jamaica, who travel to Haiti, Uganda and Guatamala to bring medical services and supplies to people whose medical needs would otherwise go unattended. I witnessed a call from our pastor to our parishioners to provide temporary shelter in their homes for the Vietnamese boat people who landed on our California shores, and I saw the heartwarming supportive response to this call from the Saint John Fisher Community.

We have a primary school whose graduates distinguish themselves in continuing their educations in public and private secondary schools, colleges and universities. Our parish works collaboratively with other faith communities on the Palos Verdes Peninsula on a number of projects. We make our facilities available for 12 step program meetings, and for interfaith and ecumenical events.

Each of these individual ministries and initiatives, and each individual parishioner is informed, inspired and nourished by our great Catholic Tradition, by the Gospel message

and by the community support from fellow Saint John Fisher parishoners. In order to continue this work, which not only benefits the individual direct recipients of these outreach efforts, but which also benefits each individual and family in our larger surrounding community and neighborhoods, we need to provide the worship, education and administrative facilities for the next generation and beyond. And we need to presently upgrade our existing facilities to provide a fitting place of worship, and to provide a place for our parishioners to fully practice their faith in addressing the present and future social needs in our larger community.

I strongly urge you to expeditiously approve the Saint John Fisher Building Plan which is before you so that we can continue in an uninterrupted manner to meet existing humanitarian needs in our midst and to provide for the future.

Very truly yours,

Patrick J Hart
Palos Verdes Estates

Leza Mikhail

From: Sara Bowlus [grandmasara1@verizon.net]
Sent: Monday, September 15, 2008 12:48 AM
To: Stephan Perestam; Leza Mikhail; Bill Gerstner; Jim Knight; Edward Ruttenberg; Jeffrey Lewis; Paul Tetreault; David Tomblin
Subject: St. John Building Plan

Dear Planning Commission members,

I am writing on behalf of the plans for St. John Fisher Parish' proposed facility. I moved to Rancho Palos Verdes in 1969 and raised 4 children here. Since moving here I have been a member of St. John Fisher Parish. We added a parish hall during this time, but have never replaced the current sanctuary which from the inception of the parish was meant to be temporary. We now wish to use it as a facility for the school children as originally intended and build the church. The architects who designed the church met with all the parishioners who wished to attend and considered our needs before submitting the plans to the city. It is a great disappoint to me that neighbors who have not complained about the behavior of our members are suddenly trying to be our adversaries. I hope they are few in number as we have many families who have dreamed of having such a beautiful church for many years and have sacrificed to collect funds to have this project.

We have heard no complaints in the past about parking or traffic. Since our parish has never had a drive to increase our membership, the number of people attending services will remain within the current amount. I happened to be on the church property when the carillon bells were being tested. The sound was melodious and subdued. I live in Stoneridge and I remember the carillon bells at the Lutheran church on Armaga Springs Road. They were beautiful and I miss hearing them because someone in Casa Verdes complained.

Will our community be known as a welcoming neighborhood, respecting our differences? I would like to think so. Please do not disappoint those of us who want a beautiful place of worship.

Sara Bowlus 310-541-2767
28427 Quailhill Dr.
Rancho Palos Verdes

Leza Mikhail

From: Patti Johnson [ppjpve@aol.com]
Sent: Tuesday, September 16, 2008 9:44 AM
To: LezaM@rpv.com
Subject: St. John Fisher Plan

Attachments: St. John Fisher Plan.doc



St. John Fisher
Plan.doc (29 K...

Please see the attached letter.

Thank you,

Patricia Johnson

September 16, 2008

Dear Planning Commissioners,

Please approve the St. John Fisher Church remodel as presented to you by the St. John Fisher Church Building Committee.

For over two years, this project has been given much consideration and thought by professional liturgical space designers and architects, as well as church parishioners. I support this plan.

The church's neighbors are concerned in particular about overflow parking on nearby residential streets. I believe their perception of the both the current and potential situations is mistaken. Over the last 21+ years, I have parked in the St. John Fisher lot **thousands** of times, day and night, for weekend and weekday Masses, summer camps, lectures, School drop-offs and pick-ups, School events and activities, weekday religious education classes, weekend weddings, baptisms, and funerals, Scout meetings and activities, Flea Markets, and many more events. Only on a few Easter Sundays and Christmases have I seen cars parked on Crest or Crenshaw, and very rarely, if ever, have I seen parishioners or guests walking to the church or up its two driveways from the nearby neighborhoods..

If residents have seen unfamiliar cars parked on their streets, I suggest that perhaps a neighbor was having a party. Wasn't there one gentleman at the last hearing who decided to move to the Peninsula after attending such a party? Regardless, the most recent proposal by the church has addressed parking concerns, and adjustments and arrangements have been made

St. John Fisher has been a good neighbor. Many of the activities and events I noted above have been open to the entire Peninsula and neighboring communities. The church even served as a refuge for residents near the canyon fire a few years ago. That may have been the only time people, i.e., the residents themselves, left their cars on the nearby streets and walked to the church.

The St. John Fisher Building Committee has worked hard to modify the plan as you have requested, including lowering the building height, testing the bells, and adjusting the parking lot.

Please approve the project as most recently proposed by the St. John Fisher Building Committee.

Sincerely,

Patricia Johnson

Leza Mikhail

From: dbunke [dbunke@verizon.net]
Sent: Tuesday, September 16, 2008 9:11 AM
To: LezaM@rpv.com
Subject: St. John Fisher Church Building Project

Dear Ms. Mikhail,

I am writing to you today in support of the St. John Fisher Building project at the corner of Crest and Crenshaw.

This site is a perfect location for a church and the new buildings will have a positive aesthetic impact on the community of Rancho Palos Verdes.

St. John Fisher Church has been a good member and neighbor to the families and residents of Rancho Palos Verdes for almost 50 years. It is very important to SJF that this truth continues. No neighbors to St. John Fisher Church will have their views compromised. Traffic is not going to be a problem because the traffic flow will not increase dramatically. There have not been any complaints about noise, traffic or parking in the past. Saint John Fisher has a good track record of nearly 5 decades. I live within walking distance to Saint John Fisher church and I look forward to the improvements this community is planning.

Please do everything you can to approve this project.

Sincerely,
Dan and Margaret Bunke
29508 Oceanport Road
Rancho Palos Verdes, CA 90275

Leza Mikhail

From: eric brown [bikechamp04@yahoo.com]
Sent: Sunday, September 14, 2008 10:35 PM
To: davidltomblin@sbcglobal.net; jeff@jefflewis.com; pltetreault@netzero.com;
 BillGerstnerpc@rpv.com; JimKnightpc@rpv.com; StephenPrestampc@rpv.com;
 EdwardRuttenbergpc@rpv.com; LezaM@rpv.com
Subject: St. John Fisher Church Building Project

Dear RPV Planning Commissioners:

9/14/2008

Dave Tomblin, Jeffrey Lewis , Paul Tetreault, Bill Gerstner, Jim Knight, Stephen Prestam, and Edward Ruttenberg and the associate planner, Leze Mikhail

I wanted to share with you that I am in favor of the St. John Fisher Building Project.

The site of the proposed church building is a perfect location for a church building because right now the corner of Crest and Crenshaw is completely closed off. A new building there would open up the corner visually and would allow pedestrians to enter where they were previously prohibited. Further, the new architectural addition would create a positive aesthetic impact because the current decades old sign that says "St. John Fisher " will be gone from that corner and a more pleasant modern building will be on that corner.

The new church will not be interfering with anyone's view because there is so much open space around the corner of Crest and Crenshaw. The views of the single family homes immediately south of the church on Crenshaw will not be impacted negatively because of the orientation of the proposed new church building and the fact that the houses in that area are located in a recessed area. Any other residents who live in other areas surrounding the church might be able to see the tower, but will not have their views of the city nor the ocean blocked.

This church community has been a good neighbor for decades based on the fact that there have not been complaints about noise, traffic, or parking in the past. This confirms a good track record in the area of "neighborliness" by the St. John Fisher Church community to it's neighbors.

Please consider the positive improvement to the city of Rancho Palos Verdes by the building of a new church building on an already existing church property that has been an asset to the RPV community for decades.

I am in favor of the St. John Fisher Building project to improve the look of the city of Rancho Palos Verdes.

Thank you for your kind consideration in this matter.

Sincerely,

Elena Brown

Leza Mikhail

From: jamcguinn@verizon.net
Sent: Sunday, September 14, 2008 10:01 PM
To: pc@rpv.com; LezaM@rpv.com
Subject: SJF project

To whom it may concern

We wish to express our support of the building project proposed by the St. John Fisher Catholic Parish. This parish has been a positive element for our Peninsula community for decades affecting the lives of literally thousands of P.V. resident adults and children.

The building effort will not only raise the aesthetics of the church area but will allow the current gathering area to be dedicated to youth activities. Can anyone question the importance of providing an equiped facility to our youth in which they would be invited to spend quality time? This is a win, win opportunity for all and as such merits approval.

Ann and Joseph McGuinness
11 via Seville
RHE, 90274

Leza Mikhail

From: Jerry Adams [4gjadams@cox.net]
Sent: Sunday, September 14, 2008 9:35 PM
To: LezaM@rpv.com
Cc: dsork@yahoo.com
Subject: St John Fisher Proposed Building Plan

Members of the Planning Commission:

My wife and I are members of St John Fisher parish and have lived in the nearby Mesa neighborhood since 1976. We support the proposed building program to meet the growing needs of the St John Fisher community as it serves residents of all ages. We have followed the proceedings of the approval process and believe that the steps that have been taken to address the maximum height, the sound of the carillon bells and potential sun blockage reasonably answer the expressed concerns. We urge the acceptance by the Council of the proposed plan and look forward to the building improvements at Saint John Fisher church.

Jerry and Jeanette Adams
5678 Whitecliff Drive
Rancho Palos Verdes
(310) 541-7193

Leza Mikhail

From: Dave Bloodgood [dabldgd@cox.net]
Sent: Sunday, September 14, 2008 8:45 PM
To: LezaM@rpv.com; pc@rpv.com; jeff@jefflewislaw.com; pltetreault@netzero.com; davidltomblin@sbcglobal.net
Subject: Supporting Letter for SJF Building Plan

Dear Members of the Rancho Palos Verdes Planning Commission,

I am a member of the St. John Fisher Parish community, and I am writing to express my support for the construction of the new church and SJF's overall building plan. I have reviewed a summary of the main issues raised by the opposition neighborhood groups, and I believe that the SJF building committee has responded to and dispositioned those issues appropriately, by either adjusting the plan to mitigate concerns or by performing necessary studies to demonstrate compliance with reasonable expectations. Several of the concerns expressed by the neighborhood groups are valid and reasonable, such as concerns over parking and traffic impact. In this example, the SJF building committee has shown that the parking accommodations are consistent with city regulations, and in fact exceed those requirements to accommodate needs beyond those of mass attendees, such as the religious education activities. I also believe that concerns about view obstruction and lighting obstruction have been more than adequately addressed, again through both modifications to the plan and formal independent studies. In this instance, I feel the height and view adjustments have been very accommodating to the expressed concerns.

As an active parish member, building fund contributor, and member of the RPV community, I feel that the construction of an improved facility will provide significantly more benefits to the community than detriments. When completed, this facility will both enhance and beautify the local community. I strongly support the SJF building project, and request that the planning commission vote to approve the project.

Sincerely,

Sheila A. Bloodgood & family
SJF Parishoners

Leza Mikhail

From: Sylvia McIntosh [SylviaMaryMc@sbcglobal.net]
Sent: Sunday, September 14, 2008 4:42 PM
To: LezaM@rpv.com
Subject: St John Fisher - new church

I have just returned from a tour of Russia. Every little town I visited was proud of the beautiful church/churches that made their town special. Hearing the bells at dusk carolling out across the neighborhood was special and romantic. I thought how lucky we are in Rancho Palos Verdes to have in our neighborhood a special, beautiful place with the sound of peaceful, mellow bells to be proud of. I am a member of Saint John Fisher Parish and I feel very lucky, but I feel that through the beauty of this new building the whole community will be graced. This wonderful new church is not only for the present members of our parish community but is for the whole community and many future generations of our community, to appreciate and enjoy.

I appeal to the city and members of our community to go and see what a wonderful place is to be built, one which will enhance our little part of the world with serenity and beauty.

Thank you,
Sylvia McIntosh
1741 Fern Avenue
Torrance, CA 90503
310 782-1223

Leza Mikhail

From: renee mitchell [renehmitchell@cox.net]
Sent: Sunday, September 14, 2008 3:05 PM
To: LezaM@rpv.com
Subject: St. John Fisher's church project

Dear Leza,

We are members of St. John fisher parish and residents of RPV. We are in favor of the project and if the planners lower the tower and cross, we feel those people that are so negative to this project should not object. Please approve the master plan.

Thank you,

Renée and William Mitchell
28017 Lobbrook Dr., RPV
310-377-8479

Leza Mikhail

From: Mary Douglas [cdoug@cox.net]
Sent: Sunday, September 14, 2008 2:57 PM
To: LezaM@rpv.com
Subject: St. John Fisher

To the Planning Commission:

I am a resident of Rancho Palos Verdes. I am in favor of the St. John Fisher Building Project which I feel will be a beautiful addition to our city.

I feel the church has gone overboard to meet and rectify the concerns of surrounding neighbors. From what I have read the effect of this church on the neighbors is so minimal they will hardly realize its presence any more than the present church. The bells will be heard only slightly. Shadows will not negatively impact neighbors. Views will not be obscured. Traffic will remain the same. I cannot see how this building project can be viewed as anything but a positive for the city of Rancho Palos Verdes.

I feel the church is trying in every way to comply and to be a good neighbor to all. Therefore, I urge you to have a vision toward the future and beauty of our city and approve the St. John Fisher Building Project.

Mary K Douglas
21 Via San Remo
Rancho Palos Verdes, Ca. 90275
310-377-2195
310-701-2927
cdoug@cox.net

Leza Mikhail

From: Patty710@aol.com
Sent: Sunday, September 14, 2008 2:39 PM
To: davidtombling@sbcglobal.net; jeff@jefflewislaw.com; pltetrault@netzero.com; pc@rpv.com; lezam@rpv.com
Subject: Building Commisioners at RPV: SJF Church building project

Dear RPV Planning commissioners:

Dave Tomblin, Jeffrey Lewis, Paul Tetreault, Bill Gerstner, Jim Knight, Stephen Prestam, Edward Ruttenberg and Leze Mikhael,

I am a resident of RHE and have lived in the Palos Verdes Peninsula since 1977. I am in favor of the building project, it is a perfect location for a church building. The views are not impacted there is plenty of space around that corner of Crest and Crenshaw. This is an existing congregation therefore traffic issues are not a problem and the church community has been a good neighbor for decades. Since religious services and other activities happen at different times, problems with parking or traffic are non-existing. Furthermore, the addition of the preschool is not a burden because most of these children are coming in the same car with other school children. Car-pooling is a popular mode of transportation with these families.

The SJF church building committee has tried very hard to meet the requirements the commission is asking. The shadow study was done, the bells were tested and the tower was brought down 16 feet. SJF Church serves the community with daily AA meetings, free of charge to the residents in RPV and surrounding communities in PV. This is just one of the daily activities taking place in the church campus. The SJF church is part of our community, and has served the community for decades. More space is needed to meet those needs.

Thank you for your consideration to the above.

Sincerely,

Pat Dahlberg, RN, MSN, CPNP
patty710@aol.com

davidtombling@sbcglobal.net
jeff@jefflewislaw.com
jeff@jefflewislaw.com
pc@rpv.com

Psssst...Have you heard the news? [There's a new fashion blog, plus the latest fall trends and hair styles at StyleList.com.](#)

Leza Mikhail

From: Bud Santos [ctbud@cox.net]
Sent: Sunday, September 14, 2008 2:17 PM
To: pc@rpv.com; LezaM@rpv.com
Subject: Saint John Fisher Church Project.

Ladies and gentlemen:

We wish to express our full support of the building of the new Saint John Fisher Church.

Saint John Fisher Church has been our parish since our arrival on the hill in 1962. The homes, in the immediate vicinity, if we recall correctly, were built after 1962. If someone objects to having a house of worship as their neighbor, why move there?

We attended the second Planning Commission meeting and it is our observation that the objections expressed, are mostly unfounded, and hence, partially proven so.

It is hoped that the RPV Planning Commission finds that the effect on those objecting, to be inconsequential.

Sincerely,

Cesar O. (Bud) Mary Ann Santos
27517 Elmbridge Dr.
RPV

Leza Mikhail

From: Susie Gietzen [familycircus7@yahoo.com]
Sent: Sunday, September 14, 2008 10:55 AM
To: pc@rpv.com
Cc: LezaM@rpv.com
Subject: St. John Fisher building plan

Dear Planning Commission,

I am writing in support of the St. John Fisher Parish building project. I ask that the committee please approve the plans for our new church. It will be a benefit for the entire community.

Thank you,

Joe Gietzen
familycircus7@yahoo.com

Leza Mikhail

From: Kelljan@aol.com
Sent: Sunday, September 14, 2008 10:24 AM
To: LezaM@rpv.com
Subject: (no subject)

Dear Miss Mikjail,

I am writing this e-mail to let you know that I am in FAVOR of the St. John Fisher building project. I have been a resident of the Palos Verdes Peninsula since 1975. The church building has been in it's present location way before Island View, Mela Lane and I believe Valley View were developed. I don't think any views can be impacted by a new building because the church sits higher than most of the houses in the area and as far as parking goes if they need any additional parking for some event they can always park over at the Mary and Joseph Retreat Center which is next door and has a very large parking lot which is seldom full. St. John Fisher is in no way the largest church on the hill with thousands of people attending Mass daily or Sunday's therefore I don't think you need to worry about traffic problems.

Please keep these facts in mind as you consider the building of the new church.

Thank you.

Jan Kelly
28073 Acana Road
RAncho Palos Veres, Ca.
90275

Psssst...Have you heard the news? [There's a new fashion blog, plus the latest fall trends and hair styles at StyleList.com.](#)

Leza Mikhail

From: Lin Lee [linliulee@gmail.com]
Sent: Saturday, September 13, 2008 7:04 PM
To: lezaM@rpv.com; pc@rpv.com
Subject: St John Fisher Building Project

Dear Leza:

I have been a residence of both RPV and PVE for over 20 years. My current address is 1624 Via Margarita, PVE, CA 90274.

I am writing to you to express **my support of St John Fisher's building project**. I trust that you and the rest of the Planning Commission will make the right decision of approving the project upon reviewing the evidences presented by the sound and shadow studies.

Sincerely,

Lin L. Lee
AXA Advisors, LLC
(310) 373-9925

6521 Via Baron,
RPV, CA . 90275
Sept 7. 2008

RECEIVED
SEP 12 2008
PLANNING, BUILDING AND
CODE ENFORCEMENT

Ms Leza Mikhail,
30940 Hawthorne Blvd,
RPV,Ca 90275

Dear Ms. Mikhail :

We am writing to express that we are in favor of the ST JOHN FISHER BUILDING PROJECT.

The site is a perfect location and It is compatible with the Institutional zone. It is not a residence in a residential zone.

The church existed before the homes in that area . and there are no legitimate traffic problems because this is an existing congregation.

The proper initial environmental review was done and the findings showed no significant impacts.

The improvement of the church , and its esthetic appearance , will bring and attract homeowners of quality who appreciate beauty. Most of all, it will improve the **property value** of everyone .

It will be something that we are proud of and want to show visitors to the city.

Our community is need of youth facilities that will encourage healthy and active physical activity for our youth.

We live near Wayfarer's Chapel, and St Peter's Lutheran Church and we enjoy hearing the **bells** We do not hear them often enough .It is not disturbing , instead it is **relaxing and peaceful to hear**.

Again, we are in **favor** of the **ST JOHN FISHER BUILDING PROJECT**

Sincerely,


Barbara and Peter Shen

DOUGLAS BUTLER

A PROFESSIONAL CORPORATION

ATTORNEY AT LAW

28441 HIGHRIDGE ROAD, SUITE 303

ROLLING HILLS ESTATES, CALIFORNIA 90274-4872

CERTIFIED SPECIALIST - TAXATION LAW
PROBATE, ESTATE PLANNING & TRUST LAW
THE STATE BAR OF CALIFORNIA
BOARD OF LEGAL SPECIALIZATION

(310) 265-9999
FAX (310) 265-4995

September 10, 2008

Planning Commission
c/o Joel Rojas
Director of Planning
Planning, Building and Code Enforcement
30940 Hawthorne Boulevard
Rancho Palos Verdes, CA 90275

Re: Opposition to Revised
St. John Fisher Master Plan Remodel and Expansion
Case Number ZON 2007-000492

**ST. JOHN FISHER CHURCH CAN NOT MEET THE
PARKING REQUIREMENTS OF THE CITY CODE**

Dear Planning Commission:

St. John Fisher Church has acknowledged that they may reduce the number of Sunday masses in the future. This means there will be additional parking demands on the remaining church services. Statements that the parking lot is not currently full means nothing considering the increased use in the future. The current parking lot fills up. Last Sunday, September 7, 2008, numerous vehicles were parked in red zones and along side roads where no parking is allowed. The parking problems exist now. St. John Fisher Church must provide adequate onsite parking for the current use as well as for any expansion.

The church proposes to substantially increase the use of the facilities and at the same time reduce the required parking. This is not appropriate for the neighborhood and it violates the city codes which set forth the rules for onsite parking. It would cause parking on the streets surrounding St. John Fisher Church. Please see the addendum "History of St. John Fisher Church Parking".

Planning Commission
c/o Joel Rojas
Director of Planning
September 10, 2008
Page 2

St. John Fisher Church is operating under a 1985 CUP which requires 359 parking spaces. Any analysis of the required parking must start with the currently required parking and add the additional required parking under the city code. The city code requires more than 359 parking spaces be provided when the property is expanded. Additional parking based on the expansion only is required. This would require 649 parking spaces. Please see the addendum "The Code Requires Additional Parking for Expansion".

If the Planning Commission is going to reduce the required parking below the required 657 spaces based on concurrent use, it must still provide adequate parking based on the concurrent uses which are likely to exist. The required parking based on a concurrent use theory based on city codes would require 600 parking spaces on Saturday/Sunday during the time of maximum parking usage. A joint use and common parking facilities agreement would require 657 parking spaces between two properties. Please see the addendum regarding "Concurrent Use".

The proposed parking plan fails to meet the requirements of the City of Rancho Palos Verdes parking code for green space. There is inadequate open space, a five foot open space between the parking lot and neighboring properties was not provided along the east side of the property, the tree wells in the parking lot are grossly inadequate. The center divider does not allow for tree growth or protection of the trees. There is inadequate green space in the parking lot. There are no five foot masonry walls facing adjoining residential properties. The parking spaces are too far away from the new sanctuary. The parking plan will cause congestion in the parking lot. Please see the addendum regarding the "Parking Plan".

The Mary and Joseph Retreat Center property can not meet the code requirements for use in any joint use or common parking facility agreement with St. John Fisher Church. Please see the addendum regarding the Mary and Joseph Retreat Center.

The church has numerous options which would provide adequate parking. If the Planning Commission authorizes expansion of the St. John Fisher Church, they must condition the expansion with use limitations so parking is still provided on site. The

Planning Commission
c/o Joel Rojas
Director of Planning
September 10, 2008
Page 3

Planning Commission has options to limit the effects of inadequate parking. Please see the addendum regarding "Planning Commission Options".

The Planning Commission can not approve the plan with 331 parking spaces. The parking lot without the new sanctuary fills up with 359 spaces. Substantial additional parking is required for any expansion.

Very truly yours,

A handwritten signature in black ink, appearing to read "Douglas Butler", with a long horizontal stroke extending to the right.

DOUGLAS BUTLER

DB:rs

Butler\RentalProperties\ValleyView\
ChurchRemodel\Planning
Commission11.Ltr-090308

HISTORY OF ST. JOHN FISHER CHURCH PARKING

HISTORY OF ST. JOHN FISHER CHURCH PARKING

In 1966 the required parking for the property was 180 parking spaces. By 1966 the church had no intention of building a sanctuary on the corner because they obtained permission to build the rectory building on the corner in 1966.

The required parking for the property is now 359 spaces. This is based on the 1985 CUP. Attached is a copy of the 1985 CUP and a copy of a recorded agreement by St. John Fisher providing for 359 parking spaces. This is less than the 574 spaces which were required for the property in 1985 based on the usage at that time. The reduction from 574 spaces to 359 spaces in 1985 was based on a concurrent use theory. The concurrent use theory is that since not all uses of the property occur simultaneously, the real or actual parking demand is less than required under the code.

In 1985 St. John Fisher was also required to provide tandem parking with parking attendants when required. This has not occurred.

Since 1985 the old sanctuary was expanded in 1994 with no additional parking required. Additional classrooms were added with no additional parking required.

Currently on Christmas and Easter the church uses Barrett Hall as an overflow sanctuary. On special holidays the overflow room will be packed. Obviously at these times the current parking lot is inadequate. Currently on some Sundays the parking lot with 359 spaces is full. For instance the parking lot was full last Sunday, September 7, 2008. Numerous cars were parked in the driveways and in no parking areas. When the new larger sanctuary is built and the number of masses reduced the parking demands will substantially increase.

Currently during some funerals and weddings parking is inadequate and those in attendance at such events park in the driveways and on adjacent streets.

The required parking based on the expansion is 657 parking spaces. St. John Fisher is now proposing to reduce the required parking to 331 spaces which is less than the currently required 359 spaces. 331 spaces is the absolute maximum number of parking spaces St. John Fisher can squeeze onto the property after their proposed expansion. 331 parking spaces is not adequate and will create severe parking shortages on the site and cause offsite parking on the adjoining streets on a weekly basis. If cars

start to park on Crest and Crenshaw, it will cause traffic problems since the streets are not wide enough to accommodate the traffic and the parking demand at the same time.

If Crest and Crenshaw were posted as no parking areas, then the overflow parking would move to adjoining neighboring residential streets.

The St. John Fisher Church parking was inadequate in 1985 when Barrett Hall was built and a CUP reduced the required parking to 359 spaces. More parking spaces should have been required in 1985. This is evident by the current parking shortages.

At this time adequate parking must be provided. The addendums described below provide different ways to calculate the required parking under the city code:

- A. The Code Requires Additional Parking For Expansion;
- B. Concurrent Use; and
- C. Mary and Joseph Retreat Center

Butler\RentalProperties\ValleyView\
ChurchRemodel\HistoryOfParking-090308

THE CODE REQUIRES ADDITIONAL PARKING
FOR EXPANSION

THE CODE REQUIRES ADDITIONAL PARKING FOR EXPANSION

For additions to existing developments the increased parking requirement shall be based only on the addition. Please see code section 17.50.020.

At this time the church proposes to add a new 17,000 square foot church sanctuary and reduce the required parking. Section 17.50.020 of the city code requires that additional parking be provided when you expand the use of property. Under Section 17.50.020 you must start with the current required parking of 359 spaces and increase the number of required parking spaces by the additional development.

The current required parking is 359 spaces. Since the use requires 574 spaces, St. John Fisher is already receiving a substantial credit for concurrent use.

The additional parking required is one space for each 50 square feet of assembly space, or one space for every three seats, whichever is greater. Depending on how you define assembly area, the additional parking required is between 173 to 340 additional spaces. The alternative required parking under city code is one space for every three seats which results in 290 spaces for the new sanctuary of 870 seats. The city must use whichever method creates the greater number of parking spaces. For this purpose we will assume the greater number is 290 parking spaces.

The required parking would be $359 + 290 = 649$ spaces based upon the expansion of the project under city code section 17.50.020.

Butler\RentalProperties\ValleyView\
ChurchRemodel\DevelopmentExpansions

CONCURRENT USE

CONCURRENT USE

Section 17.50 of the city code sets forth the nonresidential parking and loading standards. It should be noted that section 17.50.10 sets forth the purpose of the parking standards as follows:

"This chapter assures the provision of adequate off-street parking facilities in conjunction with any residential use or development. These standards should be considered the minimum required to preserve the public health, safety and welfare, and more extensive parking provisions may be warranted in particular circumstances."

The city code section 17.50.30 sets forth "joint use and common parking facilities conditions". Joint use and common parking facilities guarantee that the code required parking is available through a joint use and common parking facilities agreement.

Nowhere in the city code are there concurrent use standards. Concurrent use is not set forth in the code but has been allowed in limited practice. Concurrent use should be used very cautiously.

The city by concurrent use policy has allowed less than the required minimum parking to be provided when the parking uses on the property are not concurrent. St. John Fisher now argues that the sanctuary and school are not concurrent uses and therefore less than the minimum required parking should be allowed. The church in 1985 in arguing for reduced parking claimed that the Barrett Hall uses were different from the rest of the site. As a result, the required parking was reduced to 359 parking spaces. Now the church is saying the new sanctuary should be a different use and Barrett Hall should be aggregated with the school and other Monday to Friday uses. Please see the attached 1985 CUP.

To properly analyze the concurrent usages, you must identify each building and identify its type of use. The buildings on the site are of three types of uses:

1. Primarily Sunday use (new proposed sanctuary and religious education facilities)
2. Primarily weekday use (school classrooms)
3. Likely to be used at all times:
 - A. Barrett Hall

- B. New gymnasium
- C. Meeting room
- D. Multipurpose room

If the city is to reduce the required parking from the required minimum parking of 657 spaces based on the concurrent use theory, the city should compute the required parking based on the three different types of usage for each building to determine the anticipated parking demand on different days of the week.

Attached is a schedule of required parking calculations based on the expected usage of each building on the site for each day of the week.

The required parking requirements in the attached schedule are slightly different from the city's calculation. The difference in required parking of six additional spaces is a result of the addition of four loading spaces and two additional spaces which were the result of rounding calculations in the assembly buildings.

The city in its original calculation added all assembly buildings together to compute the assembly parking requirement. As a result, only one additional parking space was required due to rounding. In this calculation, the parking for each assembly building was calculated individually which resulted in two additional parking spaces due to rounding. The city code requires one additional parking space when parking standards result in a fraction of a parking space.

Four loading dock spaces were added under code section 17.50.50 based on the total square feet of building space. (Gross institutional buildings consisting of 80,001 to 110,000 square feet require four loading spaces under the city code.)

Section 17.50.050(D) states that loading spaces are in addition to the regular parking spaces.

Using a concurrent use theory and calculating the required parking by actual use on each day of the week results in a minimum of 600 required parking spaces for Saturday and Sunday use.

As an alternative to a reduction in the parking for concurrent use, the Planning Commission could require a joint use and common parking lot agreement under section 17.50.030(C). A joint use agreement can not be entered into with the Mary and Joseph

Retreat Center since their primary use is on the weekend. See section 17.50.030(C). Also a joint use and common parking lot agreement requires the minimum parking to be divided between the two locations. There are 94 allowed parking spaces at the Mary and Joseph Retreat Center. $94 + 331 = 425$ spaces. That is still 232 parking spaces short of the required 657 spaces. Please see attached Mary and Joseph Retreat Center parking requirement summary.

St. John Fisher Church assumes that Barrett Hall, the meeting room, the multipurpose room, the new gymnasium and the classrooms will not be used on Sundays when the sanctuary is in use. That is the only way they can ask that the city reduce the parking requirements to 331 parking spaces. If the city grants the requested parking of 331 spaces, a condition should be attached to the CUP which would prohibit the simultaneous use of Barrett Hall, the meeting room, the multipurpose room, the new gymnasium and the classrooms when the sanctuary is being used.

Butler\RentalProperties\ValleyView\
ChurchRemodel\ConcurrentUse-090308

PARKING CALCULATIONS
BASED ON ACTUAL USAGE

Building	Use	Required Parking Per Code	Required Weekday Parking Per Code	Required Saturday/ Sunday Parking Per Code
New sanctuary 870 seats	Assembly	290		290
Barrett Hall 4,818 square feet	Assembly	97	97	97
Meeting Room 1,122 square feet	Assembly	23	23	23
Multi-Purpose Room 2,178 square feet	Assembly	44	44	44
New gymnasium 6,037 square feet	Assembly	121	121	121
Office	Office	37	37	
Library 1,250 square feet	Library	4	4	
Elementary classrooms 9 classrooms	Classrooms	18	18	
Religious education classroom 7 classrooms	Classrooms	14	14	14
Preschool	Classroom	8	8	8
Single family per city	Residence	3	3	3
Loading dock per square footage	Loading dock	4	4	
TOTAL:		663	373	600

Butler\RentalProperties\
ValleyView\Church
Remodel\Parking

PARKING PLAN

PARKING PLAN

City parking lot landscaping requirements are set forth in Section 17.50.040 (Development Standards).

Section C(1) requires that the required parking be within 300 feet of the building it is to serve. Over sixty percent of the parking for the proposed sanctuary is over 300 feet away from the proposed sanctuary building. The proposed parking is located too far away from the proposed sanctuary.

Section E(1) requires a solid masonry wall not less than five feet in height where a parking area abuts a residential district. No five foot masonry wall is provided on the south edge of the property which adjoins the residential neighborhood of Rancho Crest Homeowners Association (Valley View Road).

Section F(5) requires that bumper tire stops or other devices shall be provided along all pedestrian ways.

The parking plan appears not to have adequate separation of pedestrian areas from parking areas.

Section G(1) requires a landscaped planter bed of at least five feet in width be installed along the entire parking perimeter except for those areas devoted to perpendicular access ways (driveways).

There is no five foot wide landscaped planter bed on the eastern edge of the parking lot.

Section G(2) requires a minimum of five percent of the paved parking area be devoted to interior planting areas.

The five percent minimum is not met. (The exterior perimeter planting shall not be considered part of the required interior planting.)

The code requires the extensive use of trees.

Section G(6) requires that when parking stalls face each other a three foot center divider be provided. In addition, trees are required every thirty to fifty feet in the center divider.

The parking plan does not provide for a real center divider. The proposed parking plan allows a 1-1/2 foot portion of the parking stalls facing each other to be devoted to parking while simultaneously calling the space a planted center divider. The plan allows the car to use the last 1-1/2 feet of the parking space by

allowing the front of the car to overhang into the planted center divider. (If both cars overhang, they could be touching each other as if there was no center divider.) In effect the parking stalls are face to face without any real center divider.

The dual use of the same area for parking and landscaping effectively limits the interior landscaping to grass and ground covers. Any planting above ground level could pose a problem to the car engines and in any event is not likely to grow. It can not be irrigated because sprinklers would cause mechanical problems to cars.

The dual use of the same area for trees and parking does not protect the trees. In section G(4) tree wells are required for existing trees. In Section G(6) tree wells are provided every 30 to 50 feet in the center divider. In the code it is assumed the trees are protected by the three foot center divider. The dual use effectively eliminates any protection of the trees which are required in the city code. The tree wells will be part of the dual use of the parking stall for parking and landscaping. The cars if they pull forward into the stall, could hit the trees. The dual use of the parking stalls for landscaping does not protect the trees.

The dual use of parking stalls will create other parking and traffic hazards. Some drivers will stop short in the parking stall assuming they are not supposed to overhang the planted area. Those cars could then stick out into the traffic lanes, creating a traffic hazard and slowing down traffic.

Parking and traffic congestion along the eastern edge of the property is likely. Cars backing into or out of parking spaces will stop the orderly entrance or exit of cars from the parking lot causing additional parking and traffic congestion.

The parking lot should be redesigned to meet the landscaping requirements of the city code. This may result in the loss of parking spaces. The parking plan should also be redesigned to improve the flow of traffic into and out of the parking lot. The current parking design with cars parking on the main access road on the east side of the property will create traffic congestion.

The proposed parking plan effectively avoids the landscaping standards for parking lots. If the Planning Commission adopts the proposed parking plan, they might as well simply require St. John Fisher Church to paint three foot green stripes in the parking lot.

Butler\RentalProperties\
ValleyView\ChurchRemodel\
ParkingPlan-091008

MARY AND JOSEPH RETREAT CENTER

MARY AND JOSEPH RETREAT CENTER

The Mary and Joseph Retreat Center can not meet the city code requirements for any joint use and common parking facilities agreement with St. John Fisher Church.

Section 17.50.030 sets forth the rules on joint use and common parking facilities.

A copy of the development code is attached. In the first section it states "The planning commission may permit the joint use of parking facilities to meet the standards for certain uses under the following conditions."

In a joint use and common parking facilities agreement, you must meet the parking requirements of the code. The parking requirement is 657 spaces. (The actual parking requirement may be 663 spaces. Please see the memorandum regarding concurrent use.) There are not 657 parking spaces. The St. John Fisher Church will have 331 parking spaces. The Mary and Joseph Retreat Center has 94 spaces. Together they only have 425 spaces. Therefore, a joint use and common facilities agreement could not meet the requirement that they meet the parking standards of 657 spaces.

The Planning Commission may reduce the parking requirements for common parking facilities in shopping centers or other commercial areas where a parking lot with common access and joint use is provided (code section 17.50.030(D)). This section applies to commercial zoned property and St. John Fisher Church and the Mary and Joseph Retreat Center are institutional and therefore can not claim any reduction in the parking requirement under section 17.50.030(D). Even with the twenty-five percent reduction in the required parking St. John Fisher Church would still not meet the parking requirement of the city code. The required parking is 657 spaces. A twenty-five percent reduction would reduce the required parking to 493 spaces. There are only 425 parking spaces on the two properties.

More important is the requirement in section 17.50.030(C) that the facilities must show there is no substantial conflict in the principal operating hours of the buildings or uses for which the joint use is proposed.

The primary use of the Mary and Joseph Retreat Center is weekend use. Attached are brochures and website pages showing that the Mary and Joseph Retreat Center has weekend retreats. The Planning Department memorandum to the Planning Commission on April 8, 1992 states the primary use of the retreat center is on

weekends. See attached copy. On occasion, the Mary and Joseph Retreat Center rents out space for church services of different denominations. These uses have occurred on Sundays. It is obvious from the website, brochure and actual use that the Mary and Joseph Retreat Center has primarily weekend use.

St. John Fisher's primary parking shortage occurs on weekends which is the same primary use days as the Mary and Joseph Retreat Center. Therefore, the two facilities can not enter into a joint use and common parking facilities agreement to share parking facilities on a Sunday under the city code.

Butler\RentalProperties\
ValleyView\ChurchRemodel\
MaryAndJosephCenter2-091008

PLANNING COMMISSION OPTIONS

PLANNING COMMISSION OPTIONS

1. If the Planning Commission decides to limit the required parking to 331 spaces, then the Planning Commission should require that all other assembly rooms, i.e. Barrett Hall, the meeting room, the multi-purpose room and the new gymnasium, can not be used for a period commencing one hour before and terminating one hour after any church service, wedding or funeral held in the new sanctuary building. Prohibiting the simultaneous use of the new sanctuary and the other assembly rooms would reduce the parking demand.
2. The Planning Commission could require parking beyond 331 spaces which might require the church to remove an existing building or buildings.
3. The Planning Commission could require that the sanctuary building be smaller. This would reduce the parking demand and the smaller building footprint would allow for additional parking.
4. If a joint use and common parking facilities agreement is proposed with the Mary and Joseph Retreat Center property, a CUP must be placed on the Mary and Joseph Retreat Center property prohibiting weekend use of the Mary and Joseph Retreat Center.
5. If the Planning Commission approves the parking plan, the exceptions to the city code parking plan requirements should be clearly set forth in the CUP.

Butler\RentalProperties\
Valley\View\ChurchRemodel\
PlanningCommissionOptions-090908

1985 CUP

88 1516707

RECORDING REQUESTED BY AND MAIL TO

City of Rancho Palos Verdes
Planning Department
30940 Hawthorne Boulevard
Rancho Palos Verdes, CA 90274

(213) 377-6008

FEE \$7
2

RECEIVED
OCT 18 1988

ENVIRONMENTAL SERVICES

RECORDED IN OFFICIAL RECORDS
RECORDER'S OFFICE
LOS ANGELES COUNTY,
CALIFORNIA
31 MIN. 9 A.M. SEP 21 1988
PAST.

Saint John Fisher

5448 Crest Road P.O. Box 2249
Rancho Palos Verdes, California 90274

PARISH HOUSE
377-5571

RESOLUTION P. C. NO. 85-6

CONDITIONAL USE PERMIT # 96, VARIANCE #116 AND THE FINAL NEGATIVE
DECLARATION FOR ENVIRONMENTAL ASSESSMENT #461

RECEIVED
OCT 23 1987

AGREEMENT

ENVIRONMENTAL SERVICES

The Church facilities shall be operated in such a manner so as
to avoid a use which would exceed the 359 parking spaces on site.
Should demand for parking spaces exceed the approved capacity, the
Church shall utilize attendant parking (using tandem parking) to
increase parking capacity.

Stephen E. Blaine ATTORNEY IN FACT
Roman Catholic Archbishop of Los Angeles
Corporation Sole

CAT. NO. NN00627
TO 1944 CA (9-84)

TICOR TITLE INSURANCE

(Individual)

STATE OF CALIFORNIA
COUNTY OF Los Angeles } ss.

On September 24, 1987 before me, the undersigned, a Notary Public in and for
said State, personally appeared

Stephen E. Blaine
_____, personally known to me or
proved to me on the basis of satisfactory evidence to be
the person whose name sd subscribed to the
within instrument and acknowledged that sd exe-
cuted the same.
WITNESS my hand and official seal.

Signature Jacqueline A. Buckminster

OFFICIAL SEAL
Jacqueline A. Buckminster
NOTARY PUBLIC - CALIFORNIA
LOS ANGELES COUNTY
My comm. expires JUL 12, 1991

MEMORANDUM



RANCHO PALOS VERDES

TO: PLANNING COMMISSION

FROM: DIRECTOR OF ENVIRONMENTAL SERVICES

DATE: FEBRUARY 26, 1985

SUBJECT: C.U.P. #96, VARIANCE # 116, ENVIRONMENTAL ASSESSMENT #461

APPLICANT: JOHN BARTLETT ASSOCIATES (818) 445-0035
37 WEST HUNTINGTON DRIVE
ARCADIA, CA. 91006

LANDOWNER: ROMAN CATHOLIC ARCHBISHOP OF LOS ANGELES (213) 388-8101
1531 W. NINTH STREET
LOS ANGELES, CA. (0015)

LOCATION: ST. JOHN FISHER PARISH, 5448 CREST ROAD
(S/E CORNER OF CREST AND CRENSHAW)

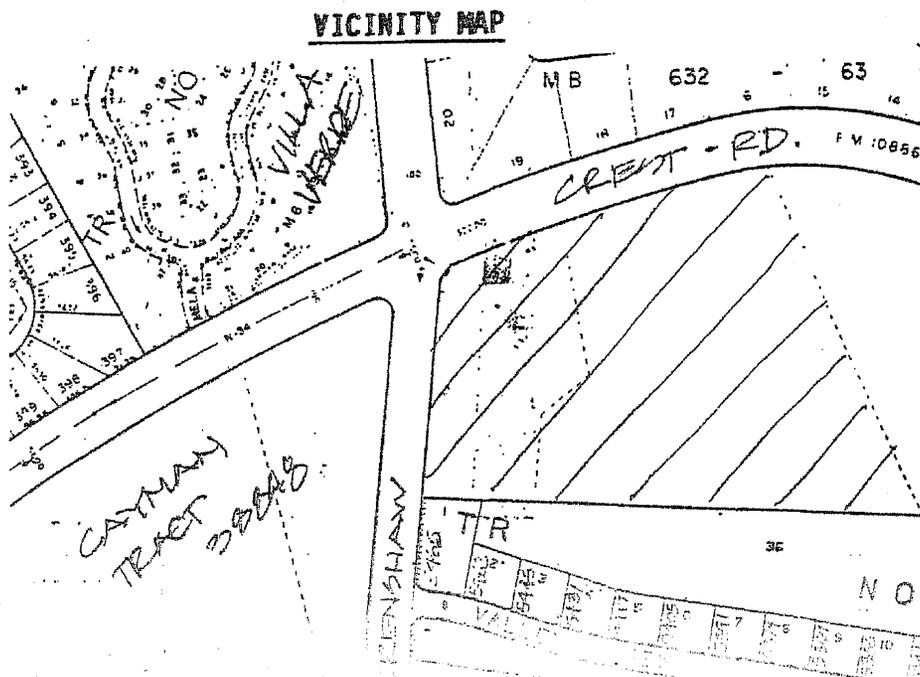
ZONING: INSTITUTIONAL

CEQA STATUS: DRAFT NEGATIVE DECLARATION PREPARED FOR E.A. #461

REQUESTED ACTION: APPROVE C.U.P. 96 & DRAFT NEG. DEC. FOR E.A. #461 TO ALLOW CONSTRUCTION OF NEW SOCIAL/MEETING HALL, ALSO APPROVE VARIANCE 116 FOR REDUCTION IN PARKING REQUIREMENTS

GENERAL PLAN DESIGNATION: INSTITUTIONAL RELIGIOUS

STAFF COORDINATOR: STEVE RUBIN, ASSOCIATE PLANNER



BACKGROUND

The Church and its functions have been located at their present site since 1961 . (The rectory and convent were added sometime in 1966-67).

PHYSICAL DESCRIPTION

The subject site comprises 9.4 acres and is located on a plateau overlooking the intersection of Crenshaw Boulevard (to the west) and Crest Road (to the north) with sloping, landscaped banks on the other two (2) sides. Single family residential is the prominent adjacent land use. The site takes access from two driveways, one each on Crest Road and Crenshaw Boulevard with the primary one on Crenshaw Boulevard.

Existing improvements include the Church, school buildings, rectory and convent (see plans). The perimeter of the property is heavily planted with mature landscaping. In general, the site is visually isolated from surrounding land uses.

PROJECT DESCRIPTION

The applicants are proposing to construct a new social/meeting hall adjacent to the school facility in the center of the property. The proposed structure would compromise 7,049 square feet of kitchen space, offices, storage rooms, several multi-purpose rooms and a large hall area (see floor plans.) It would be used for meetings, choir rehearsals, school meetings, social gatherings, etc.

The proposal would place the structure 2.5 feet below the existing grade (quantities of earth to be handled is not known at this time). The structure would measure 28.5 feet at its highest point as measured from existing grade.

The proposed location requires rearranging the existing parking layout. As shown on the enclosed plans, 359 parking spaces would be provided (6 in garages and not available for general use). On a site inspection, staff counted 345 existing marked or striped spaces. The site visit took place during the noon mass. Staff estimates that the parking was about 2/3 full.

At the present time, there are recreational facilities located within the parking area. These include 6 basketball backboards, assorted jungle gym equipment, and a baseball backstop. There is also a covered lunch area. All of these would be displaced by the new parking arrangement, although staff has been told the basketball backboards would be replaced in the same general location.

The combined square footages of all the buildings (including the proposed building) would require 574 parking spaces (this is based on the code requirements, which assumes worst use simultaneous demand). Variance 116 is requesting a reduction of 215 spaces. The applicants justify this with the argument that there will not be simultaneous use of the major facilities (the new hall and the Church); therefore, the "real" or actual demand is less. Using this reasoning, the new hall would require 293 spaces individually, while all the other uses (simultaneously) would require 281 spaces. In either case, the 359 proposed spaces provide more than would be required.

ENVIRONMENTAL CONCERNS

Please refer to the attached Initial Study for Environmental Assessment #461 for discussion of this topic.

No significant environmental impacts have been identified with the proposal and a Draft Negative Declaration has been prepared and is attached.

PROJECT CONSIDERATIONS

The proposed structure is well situated on the subject property, almost centrally located on the site. This location, combined with the existing landscaping and the topographical characteristics would render the structure almost invisible to surrounding land uses.

The proposed parking/circulation seems to be workable. The "real" or actual parking demand is within the proposed capacity. Should the Variance be approved, it should be conditioned so as to prohibit simultaneous demand situations.

In reviewing any new major construction or development, the City considers the requirement for public works improvements along the frontages of the public rights-of-way. In this case, there are several places along Crenshaw Boulevard and Crest Road where repairs to the paving are needed. If it so chooses, the Commission may require such repairs as a condition of approval.

The Commission should also consider requiring improvements of the recently approved designated trails in the public right-of-way along the property frontages on Crenshaw Boulevard and Crest Road. Staff will discuss this in detail at the meeting.

CODE CONSIDERATIONS

The site is zoned Institutional; new uses require a Conditional Use Permit. Proposed building height and setbacks are all within Code standards.

The parking issue must be resolved; however, the Code standard of simultaneous use does not seem wholly appropriate for this use.

Another area of concern is the Code requirement that a minimum of 5% of the interior of parking lot areas be landscaped. The applicant has been requested to supply figures for the square footage of the parking lot area and the landscaped area. Per Code standards, this 5% cannot include perimeter landscaping; it is intended to soften large expanses of paved surfaces. The islands currently shown in the parking areas are to be landscaped. Should the Commission choose to approve this, staff recommends a condition requiring compliance with the 5% requirement. The applicant would have to submit plans verifying such compliance.

Lastly, as noted earlier, quantities of earth to be handled with the proposed grading are not known at this time. Should the Commission approve this project, staff would suggest that staff be given the authority to approve a grading application should it exceed 1,000 cubic yards of materials, as that would normally require the application to come back to the Commission.

Since there are no slopes or other controversial issues regarding the grading such authority would shorten the processing of the application.

CONCLUSIONS/FINDINGS

Staff does not see any major problems with the proposed project. Those concerns raised in the previous section are real, but not significant enough to warrant denial of the project; and can be handled through appropriate conditions of approval.

It is staff's opinion that the proposed social/meeting hall addition and St. John Fisher Parish meets the following C.U.P. criteria:

1. That the site is adequate in size and shape to accommodate the intended expansion;
2. That the site for the proposed expansion relates to streets and roadways properly designed to carry the type and quantity of traffic generated by the use;
3. That by approving the expansion at the specific location, there would be no significant adverse impacts on the adjacent properties or permitted uses thereof;
4. That the proposed use is not contrary to the General Plan; and
5. That subject to the conditions/mitigation measures attached to Resolution P.C. No. 85- , there will be no significant adverse environmental impacts resulting from the proposed project.

and the following findings can be made regarding Variance 116.

1. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, which do not apply generally to other property in the same zoning district; in that the intended use of the property would not utilize simultaneous demand for proposed parking facilities.

2. That such variance is necessary for the preservation and enjoyment of a substantial property right of the applicant, which right is possessed by other property owners under like conditions in the same zoning district; in that other religious facilities in the Institutional zone have the same right for full service facilities and to conduct a full range of activities.

3. That the granting of the variance will not be materially detrimental to the public welfare or injurious to property and improvements in the area in which the property is located; in that there would be no significant adverse impacts associated with the proposed structure and its location.

4. That the granting of such a variance will not be contrary to the objectives of the General Plan.

**INITIAL STUDY
ENVIRONMENTAL ASSESSMENT NO. 461**

PROJECT LOCATION

The project site is located at 5448 Crest Road. The property is zoned Institutional and is owned and operated by the Roman Catholic Church.

PROJECT DESCRIPTION

The applicant is proposing to construct a 7,049 square foot meeting hall for Parish social functions, receptions, school assembly meetings, dinners, etc. This building would eliminate these uses in existing buildings, which are not designed for such activities.

ENVIRONMENTAL SETTING

The property encompasses 9.4 acres which includes the church building, convent, rectory, 3 school buildings, play facilities and expansive parking area.

Surrounding land uses include single family residential to the east and south along Valley View (down a large "common area" slope). The Cayman Tract (38848) is across Crenshaw to the west, and down a slope from the subject property are more single family residences to the north across Crest Road. The Villa Verde residential development is situated diagonally across the Crest/Crenshaw intersection.

ENVIRONMENTAL ISSUES

The issues discussed below have been determined to be of environmental concern. Other environmental issues (as described in CEQA) have been examined and have been determined to be of no concern within the parameters of the proposed project. Unless discussed in this Initial Study, or the General Plan, the impacts (individual and/or collective) when added to past, current or future projects are not considered significant from a cumulative effect viewpoint.

EARTH

Due to the gentle slope of the existing site, the proposed structure would be lowered 2.5 feet below the adjacent parking area. Compaction and fill are an expected part of such construction. No negative impacts are associated with this; however, to protect against excessive dust during construction phases, a watering truck shall be employed.

TRANSPORTATION/CIRCULATION

The existing structures/uses on the site require a total of 281 parking spaces based upon simultaneous use. The proposed structure would require an additional 293 spaces for a total of 574 required parking spaces. Again this is based upon simultaneous use. As the proposed structure would not be used simultaneously with the church activity, the "real" demand for parking is much less.

The location of the proposed structure mandates realignment and striping of the parking lot. A total of 359 parking spaces is proposed with the new configuration. A Variance is required due to the substandard number of

provided spaces; however, such reduction may be justified due to the "real" demand for parking versus simultaneous demand.

In view of the foregoing information and discussion and the Environmental Assessment Questionnaire, it has been determined that a Negative Declaration should be prepared.

This Initial Study was prepared by Steve Rubin, Associate Planner, under the direction of the Director of Environmental Services on February 20, 1985. Data was supplied by the applicant through the Environmental Assessment Questionnaire and through sources listed below:

1. Rancho Palos Verdes Development Code
2. Rancho Palos Verdes Address File - 5448 Crest Road
3. Environmental Assessment #461
4. Conditional Use Permit #96 Application
5. Variance No. 116 Application
6. Rancho Palos Verdes General Plan

RESOLUTION P.C. NO. 85-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF RANCHO PALOS VERDES APPROVING CONDITIONAL USE PERMIT #96, VARIANCE #116, AND THE DRAFT NEGATIVE DECLARATION FOR ENVIRONMENTAL ASSESSMENT #461

WHEREAS, the Roman Catholic Archbishop of Los Angeles has made application to construct a church social/meeting hall at St. John Fisher Parish, located at 5448 Crest Road; and

WHEREAS, after a public hearing was held on February 26, 1985 at which time all interested parties were given an opportunity to be heard and present evidence.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF RANCHO PALOS VERDES DOES HEREBY FIND, DETERMINE AND RESOLVE AS FOLLOWS:

Section 1. That the site is adequate in size and shape to accommodate the intended expansion;

Section 2. That the site for the proposed expansion relates to streets and roadways properly designed to carry the type and quantity of traffic generated by the use;

Section 3. That by approving the expansion at the specific location, there would be no significant adverse impacts on the adjacent properties or permitted uses thereof;

Section 4. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, which do not apply generally to other property in the same zoning district; in that the intended use of the property would not utilize simultaneous demand for proposed parking facilities

Section 5. That such variance is necessary for the preservation and enjoyment of a substantial property right of the applicant, which right is possessed by other property owners under like conditions in the same zoning district; in that other religious facilities in the Institutional zone have the same right for full service facilities and to conduct a full range of activities

Section 6. That the granting of the variance will not be materially detrimental to the public welfare or injurious to property and improvements in the area in which the property is located; in that there would be no significant adverse impacts associated with the proposed structure and its location

Section 7. That the granting of such a variance will not be contrary to the objectives of the General Plan

EXHIB. A: RESOLUTION P.C. NO. 85-

Conditional use Permit #96, Variance #116, Draft Negative Declaration for Environmental Assessment #461 are approved subject to the following conditions:

1. This approval shall expire one year from the date of adoption if application for building permits have not been made. Extension may be granted by the Planning Commission for up to one additional year. Extension must be granted prior to expiration.
2. A watering truck shall be employed during construction phases to control dust.
3. The applicants shall submit a grading application to be approved by the Director of Environmental Services prior to application for building permits.
4. Applicant shall conform to the minimum requirement for 5% interior landscaping of parking areas. Site landscape/irrigation plans shall be approved by the Director of Environmental Services prior to application for building permits and installed prior to occupancy of the building.
5. The Church facilities shall be operated in such a manner so as not to create simultaneous demand for maximum parking requirements, which would exceed the 359 spaces on site.
6. The applicant shall submit plans to the Director of Public Works for the repair of substandard asphaltic paving in Crest Road and Crenshaw Boulevard up to the center line of said right-of-ways, subject to his approval. Said improvements shall be completed prior to occupancy of the building.
7. The applicant shall submit plans to the Director of Environmental Services for approval to improve designated equestrian trails within the public right-of-way along its property frontage along Crest Road and Crenshaw Boulevard.
8. Said improvements shall be completed prior to occupancy of the building. Final building plans, including elevations, materials, and lighting shall be approved prior to application for building permits.

I have been informed by the Director and/or his Environmental Services staff that the conditions set forth in this application are not considered to be within the scope of the variance process as established in the City's Development Code.

Signature of Applicant:

Date: _____

PARKING CODE

Chapter 17.50

NONRESIDENTIAL PARKING AND LOADING
STANDARDS

Sections:

- 17.50.010 Purpose.
 17.50.020 Parking requirements.
 17.50.030 Joint use and common parking facilities.
 17.50.040 Development standards.
 17.50.050 Loading.

17.50.010 Purpose.

This chapter assures the provision of adequate off-street parking facilities in conjunction with any nonresidential use or development. These standards should be considered the minimum required to preserve the public health, safety and welfare, and more extensive parking provisions may be warranted in particular circumstances. (Ord. 320 § 7 (part), 1997; Ord. 78 (part), 1975)

17.50.020 Parking requirements.

Parking shall be provided in accordance with the list of uses under this section. Where the standards result in a fraction, the next larger whole number shall be the number of spaces required. For additions to existing developments, the increased parking requirement shall be based only on the addition. A minimum of two spaces shall be provided for any use or development regardless of the size or scope of the use or development. If the specific use is not listed in the following Table 50-A, the parking requirements listed in Table 12-A of Chapter 17.12 (Commercial Districts) shall apply. Disabled parking shall be provided in accordance with the current state amended Uniform Building Code. The number of disabled parking spaces required by the current state amended Uniform Building Code shall constitute a portion of the total parking required under this section.

TABLE 50-A

Uses	Parking Space Requirements
Commercial Recreation	
Billiard hall	2 spaces for each billiard table plus 1 space for every 2 employees
Bowling alley	5 spaces for each lane
Golf courses	6 spaces for each hole plus the established parking requirements for all ancillary uses, less a 25% credit
Golf driving ranges	1 space for each tee plus 1 space for every two employees
Health clubs and spas	1 space for every 150 square feet of gross floor area
Hotels	1 space for each room for each of the first 100 rooms, 1/2 space for each room for each of the rooms thereafter, plus 1 space for every 2 employees
Motels	1 space for each sleeping unit plus 1 space for every 2 employees
Restaurants, bars and lounges	1 space for every 3 seats; or 1 space for every 75 square feet of dining room area, whichever is greater
Skating rinks	1 space for every 750 square feet of gross floor area with a minimum of 25 spaces
Stables	1 space for each paddock; or 1 space for every 5 horses, whichever is greater
Swimming pools	1 space for every 100 square feet of water surface plus 1 space for each employee, with a minimum of 10 spaces
Tennis, handball and racquetball facilities	3 spaces for each court

Uses	Parking Space Requirements
Medical and Health Facilities	
Convalescent homes, nursing homes, homes for the aged, rest homes and sanitariums	1 space for every 4 beds
Dental and medical clinics and offices	1 space for every 250 square feet of gross floor area
Hospitals	1 space for every 2 patient beds
Veterinary hospitals and clinics	1 space for every 250 feet of gross floor area
Assembly	
Auditoriums, theaters, churches, clubs and stadiums	1 space for every 3 permanent seats; or 1 space for every 50 square feet of assembly area, whichever is greater (18 linear inches of bench shall be considered 1 seat)
Mortuaries and funeral homes	1 space for each hearse plus 1 space for every 2 employees plus 1 space for every 150 square feet of assembly area
Educational Uses	
Colleges and universities	1 space for every 2 full-time regularly enrolled students plus 1 space for every 5 student seats plus 1 space for every 2 employees/faculty
Day nurseries and preschools	1 space for every employee plus 1 space for every 5 children or 1 space for every 10 children where a circular driveway is provided for the continuous flow of passenger vehicles (for the purpose of loading and unloading children) and which accommodates at least 2 such vehicles
Elementary and junior high schools	2 spaces for each classroom
High schools	1 space for every faculty member plus 1 space for every 6 students
Libraries	1 space for every 300 square feet of gross floor area
Trade schools, business colleges and commercial schools	1 space for every 3 student capacity plus 1 space for every employee/faculty
Retail Uses	
Food stores, grocery stores, supermarkets and drug stores	1 space for every 250 square feet of gross floor area
Furniture and appliance stores	1 space for every 350 square feet of gross floor area
Automobile sales and rentals	1 space for every 350 square feet of gross floor area plus 1 space for every 2,000 square feet of outside sales area
Service Uses	
Automobile service, repair and gas station	1 space for every employee, plus 2 spaces for every service bay, plus 1 space for every vehicle used in connection with the use (such as tow trucks)
Automobile washing and cleaning	
full-service	15 spaces plus 1 space for every two employees
self-service	5 spaces for every 2 bays
Financial institutions	1 space for every employee plus 1 space for every 250 square feet of gross floor area
Barber shops and beauty salons	3 spaces for every barber chair or station
Coin-operated Laundromats	1 space for every 3 washing machines

Uses	Parking Space Requirements
Dry cleaners	1 space for every 300 square feet of gross floor area plus 2 spaces for delivery vehicles
Professional office	1 space for every 275 square feet of gross floor area

(Ord. 320 § 7 (part), 1997; Ord. 78 (part), 1975)

17.50.030 Joint use and common parking facilities.

The planning commission may permit the joint use of parking facilities to meet the standards for certain uses under the following conditions:

A. Up to one-half of the parking facilities required for a primarily daytime use may be used to meet the requirements of a primarily nighttime use and up to one-half of the parking facilities required for a primarily nighttime use may be used to meet the requirements of a primarily daytime use; provided, that such reciprocal parking arrangement shall comply with Section 17.50.030(C) of this chapter.

B. The parking facilities required for a primarily daytime use or for specific days of use may be used to satisfy up to fifty percent of the requirements for a church or school auditorium subject to requirements set forth in Section 17.50.030(C) of this chapter.

C. The parties concerned shall show that there is no substantial conflict in the principal operating hours of the building or uses for which the joint use is proposed and shall evidence agreement for such use by a proper legal instrument to which the city is a party.

D. The planning commission may reduce parking requirements for common parking facilities by up to twenty-five percent in shopping centers or other commercial areas where a parking lot with common access and joint use is provided. (Ord. 320 § 7 (part), 1997; Ord. 90 § 5 (part), 1977; Ord. 78 (part), 1975)

17.50.040 Development standards.

The following development standards shall apply to all parking areas with six or more spaces:

A. **Parking Lot Permit.** Anyone constructing a parking lot containing six stalls or more, whether separate or in conjunction with a structure, shall obtain a parking lot permit as per Section 17.76.010 (Parking lot permit).

B. **Transportation Demand Management Parking Requirements.** New nonresidential developments shall be subject to the applicable transportation demand management parking requirements specified in Section 10.28.030 (Transportation demand management and trip reduction measures) of the city's Municipal Code.

C. **Location.**

1. Required parking facilities shall be on the same lot as the structure they are intended to serve; except, that with proper legal agreement, the planning commission may approve parking on a separate lot. For sleeping or boarding facilities, including rest homes, dormitories, hotels and motels, the required parking shall be within one hundred fifty feet of the building it is to serve. For all other uses, the required parking shall be within three hundred feet of the building it is to serve. The above distances are to be measured along a legal and safe pedestrian path from the parking space to the nearest entrance of the building or use for which the parking is required.

2. The required parking spaces may be located in interior side and rear setbacks. No parking space, either required or otherwise, shall be located in any required front or street-side setback area, unless the base zoning district regulations provide otherwise.

D. **Access.** There shall be a minimum ten foot wide, four inch thick concrete, slab vehicular accessway from a public street or alley to off-street parking facilities. Such accessway shall be designed to specifications approved by the director of public works.

E. **Screening.**

1. Where a parking area abuts a residential district, the parking area and residential district shall be separated by a solid masonry wall not less than five feet in height; except, that this wall shall be forty-two inches in height where it is in prolongation of the front setback area of an abutting residential use or district. The planning commission may waive this requirement if additional setback and screening planting or landscaped berms are to be provided.

2. Where a parking area is across the street from a residential district, there shall be a border of appropriate landscaping not less than ten feet in width, measured from the street right-of-way line, along the street frontage.

F. **Layout and Paving.**

1. Parking areas shall provide for a twenty-five foot outside turning radius within the facility and a thirty foot outside turning radius into public alleys.

2. Parking spaces shall be arranged so that vehicles need not back onto or across any public sidewalk.

3. Off-street parking facilities shall be designed so that a vehicle within a parking facility shall not be required to enter a street to move from one location to any

other location within that parking facility. Separate non-contiguous parking facilities may be provided with independent entrances for employees and visitor parking; provided, the designated use of each lot is clearly identified on proposed plans and at the entrances to each lot.

4. No dead-end parking aisles serving more than five stalls shall be permitted, unless the aisle is provided with a turnaround area installed in a manner meeting the approval of the director.

5. Bumpers, tire stops or any other device deemed appropriate by the director, shall be provided along all pedestrian ways, access or street or alley adjacent to any off-street parking area except where screening is located.

6. All parking areas shall be surfaced with asphaltic or cement concrete paving which is at least three inches thick.

7. Standard parking stalls shall be designed in accordance with the standards and dimensions specified in the "parking lot layout" diagrams and tables contained in Exhibit "50-A" of this section. All parking stalls shall be clearly marked with lines, and access lanes shall be clearly defined with directional arrows to guide traffic. The appropriate parking lot striping, including whether parking stalls shall be single or double striped, as shown in the diagram contained in Exhibit "50-B" of this section titled "standard parking stall striping", shall be determined by the director. Except for parallel parking stalls, standard parking stalls shall be a minimum of nine feet (width) by twenty feet (depth) in area. Parallel parking stalls shall be a minimum of twenty-six feet in depth. Compact stalls shall be a minimum of eight feet (width) by fifteen feet (depth) in area and shall not exceed twenty percent of the total number of approved spaces, unless a different size stall is authorized or required by the director or planning commission. Compact stalls shall be marked for compact use only.

8. All off-street parking spaces shall be clearly outlined with lines either painted on the pavement or indicated with special paving materials on the surface of the parking facility.

9. Parking aisle widths shall be in accordance with the dimensions and standards specified in the "parking lot layout" diagrams contained in Exhibit "50-A" of this section. Deviations from the diagrams' standards may be approved by the director, if it is demonstrated to the satisfaction of the director of public works that alternative dimensions and standards will not result in adverse parking lot traffic circulation impacts.

10. Disabled parking spaces shall be in accordance with the dimensions and specifications of the state amended Uniform Building Code.

G. Landscaping.

1. A landscaped planter bed of at least five feet in width shall be installed along the entire parking lot perimeter; except, for those areas devoted to perpendicular accessways.

2. A minimum of five percent of the paved parking area shall be devoted to interior planting areas. The extensive use of trees is encouraged to the extent that the trees do not significantly impair views from surrounding properties. All planting areas shall be at least three feet wide. Perimeter planting shall not be considered part of this required interior planting.

3. Where topography and grading permit, parking lots shall be depressed and/or screened from view by landscaped berms and hedges. Where this is impractical, the use of decorative screening walls and hedges shall be provided.

4. Where trees already exist on the property, the design shall make the best use of this growth and shade. Such trees shall be protected by a tree well with a diameter sufficient to ensure their continued growth. The five percent interior lot area landscaping standard included in this chapter may be reduced to compensate for the retention of such trees.

5. Planting areas shall be distributed throughout the lot as evenly as possible, but variations from this pattern may be granted by the staff when a different pattern would result in the overall aesthetic improvement of the project. Innovation in design and materials is encouraged.

6. Wherever a center divider separates parking stalls facing each other, tree wells shall be established not more than fifty feet apart for large trees (exceeding twenty feet spread at maturity), or not more than thirty feet for small and medium-sized trees.

7. A full-coverage, permanent irrigation system shall be installed. Hose bibs shall be located at not less than two-hundred foot intervals to allow for reinforcement of the system by hose watering.

8. All plantings shall be maintained free of debris and in conformity with the accepted practices for landscape maintenance.

9. A six inch high cement concrete curb shall be constructed at the edge of all landscaped areas.

H. Drainage and Lighting.

1. All drainage from parking areas for six or more cars shall be taken to a public street, alley, storm drain or natural drainage course to the satisfaction of the

director of public works and shall not pass over any public sidewalk.

2. Lighting provided to illuminate a parking area shall be hooded and arranged and controlled so as not to cause a nuisance either to highway traffic or to adjacent properties; and a lighting plan shall be provided as per Chapter 17.56 (Environmental Protection) of this title.

I. Seasonal or Peak Parking Areas. With the approval of the planning commission, the above development standards may be waived or conditionally waived for a portion of the required parking spaces where:

1. The applicant can show what portion of the required spaces are required only on a periodic basis, such as seasonal or once a week;

2. The parking area is planted in turf of a wear-resistant type; and

3. Provision is made for irrigation and maintenance of the turf.

J. Signs. The provisions of Section 17.76.050 (Sign permit) shall apply.

K. Usability. The required off-street parking facilities shall not be used for any purpose other than as required by this chapter. Unless otherwise provided by an approved conditional use permit, no owner or tenant shall lease, rent or otherwise make such required parking available to any person who does not occupy the premises for which the parking is required. (Ord. 320 § 7 (part), 1997; Ord. 194 § 11, 1985; Ord. 78 (part), 1975)

17.50.050 Loading.

The following off-street loading spaces shall be provided and maintained for all institutional and commercial uses other than office buildings. The loading spaces shall be not less than ten feet in width, twenty feet in length, and with fourteen feet of vertical clearance.

A. Loading spaces Required per Total Square Feet of Building Space (gross floor area)

Total Square Feet of Building Space (gross floor area)	Loading spaces Required
Commercial Buildings	
3,000 — 15,000	1
15,001 — 45,000	2
45,001 — 75,000	3
75,001 — 105,000	4
105,001 and over	5

Total Square Feet of Building Space (gross floor area)	Loading spaces Required
Commercial Outdoor Sales (gross area)	
0 — 5,000	1
5,001 — 45,000	2
45,001 — 105,000	3
105,001 and over	4
Institutional	
3,000 — 20,000	1
20,001 — 50,000	2
50,001 — 80,000	3
80,001 — 110,000	4
110,001 and over	5

B. When the lot upon which loading spaces are located abuts an alley, such spaces shall have access from the alley. The length of the loading space may be measured perpendicular to or parallel with the alley. Where such loading area is parallel with the alley and said lot is fifty feet or less in width, the loading area shall extend across the full width of the lot. The length of a loading area need not exceed fifty feet for any two spaces.

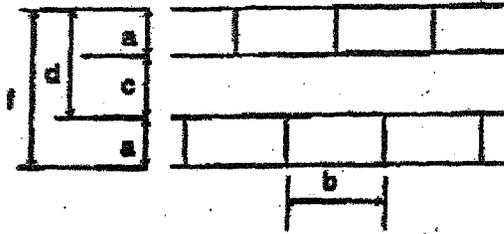
C. Loading space required by this title may occupy a required rear or interior side setback, but not a required front or street side setback. Where the loading is permitted in a setback, said setback may be used in calculating the area required for loading; providing, that there be no more than one entry or exit per sixty feet of lot frontage or fraction thereof.

D. All loading spaces shall be separate, striped spaces in addition to the required parking spaces and shall not be located within a required parking lot driveway, backout space or aisle; except, that for commercial buildings with a gross floor area of less than fifteen thousand square feet, the loading space may be located within a parking lot driveway, back-out space or aisle.

E. No loading space shall be located on a dead-end driveway, accessway, aisle or alley unless a turn-around circle with a minimum radius of ninety feet is provided adjacent to the loading space. (Ord. 320 § 7 (part), 1997; Ord. 78 (part), 1975)

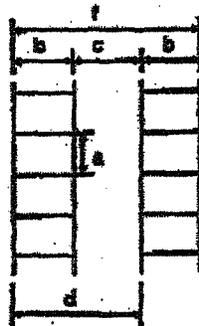
EXHIBIT 59-A

Parallel Parking Layout Dimensions:



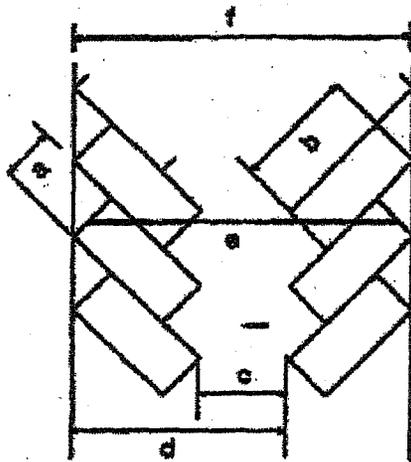
a	b	c	d	f
9-0			29-0	90-0
9-6	28-0	12-0	21-6	91-0
10-0			23-0	92-0

Right Angle Parking Layout Dimensions:



a	b	c	d	f
9-0		25-0	45-0	85-0
9-6	20-0	24-0	44-0	84-0
10-0		24-0	44-0	84-0

Angled Parking Layout Dimensions:



30 degree calculated values

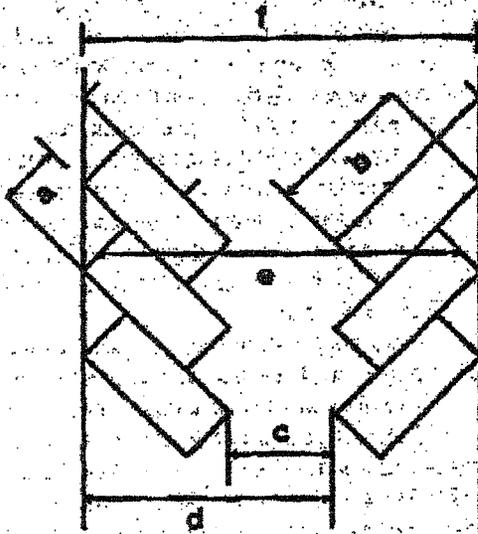
a	b	c	d	e	f
9-0			30-4	48-10	88-2
9-6	20-0	12-0	20-2	41-3	80-6
10-0			31-2	41-8	80-4

45 degree calculated values

a	b	c	d	e	f
9-0			32-9	47-3	83-6
9-6	20-0	12-0	33-2	47-7	84-4
10-0			33-6	47-11	85-0

EXHIBIT 50-A (Continued)

Angled Parking Layout Dimensions (cont):

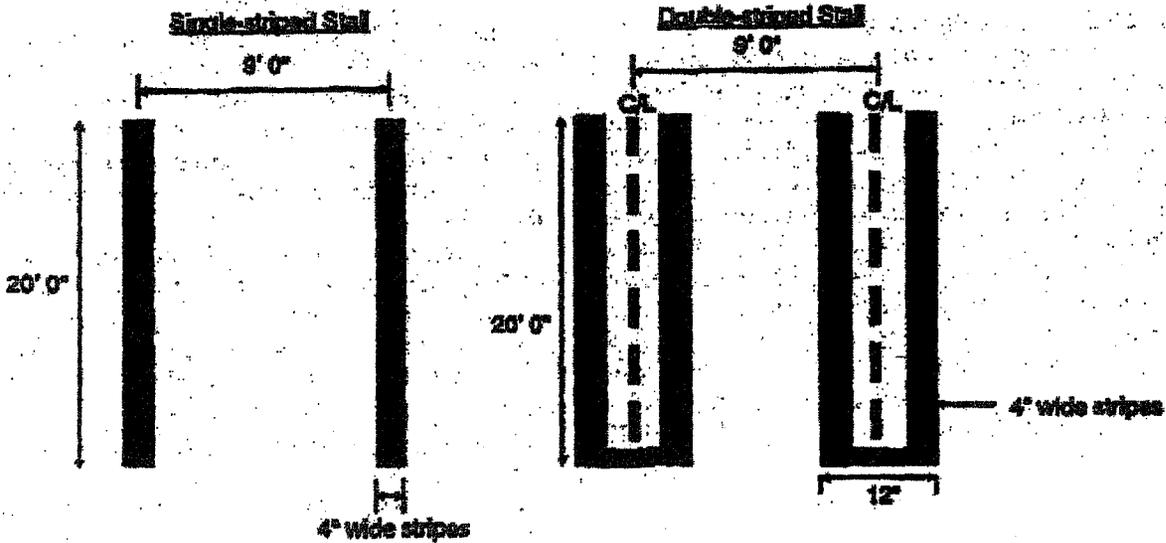


60 degree calculated values

a	b	c	d	e	f
8-0			38-11	57-5	61-10
9-6	20-0	12-0	40-2	57-5	62-4
10-0			40-5	57-11	62-10

EXHIBIT 50-B

Standard Parking Stall Striping:



MEMORANDUM TO PARKING COMMISSION

**PROPOSED MARIAN CENTER - DAUGHTERS OF MARY AND JOSEPH
5300 CREST ROAD, RANCHO PALOS VERDES, CALIFORNIA**

April 8, 1992

PROJECT DESCRIPTION

The property has been owned and occupied by the Daughters of Mary and Joseph since 1959. Existing structures on site consist of a Novitiate (housing for the Sisters), a Retreat Center (2 lodge buildings, lounge building and Chapel) and auxiliary Service Building which consists of dining, kitchen, laundry and office facilities. Also on site are staff house, garage and classroom structures.

This requested is for a revision to the existing Conditional Use to add a two story expansion adjacent to the Novitiate Building, at the south, for senior members of the Daughters of Mary and Joseph Community. This expansion is referred to as the "Marian Center". Included within the expansion are a central stair/lobby area, twelve bedrooms, including two designed for handicapped accessibility, kitchen and dining room, community room, therapy room, and arts/crafts room. This expansion is intended to be self contained and not intended to serve the other buildings.

Summary of Existing Building Uses on Site

Novitiate Building - Two story building consisting of common room, private chapel (resident use only), eight modified dorm sleeping spaces, one living suite (bedroom and living room combination), and office/study rooms for residents and the original thirty-six bedrooms, due to their small size, have been altered to provide eighteen bedrooms.

Retreat Center - Single story cluster of buildings, consisting of Lounge building with offices, Chapel building with seating for approximately 128 persons, and two lodge buildings each with fifteen bedroom/bath combinations. Retreat Center including Chapel is used primarily on weekends. Please note that Saint John Fisher Parish is located on the site immediately adjacent to this property therefore there is not a neighborhood religious service scheduled at this Chapel.

Service Building - Single story building consisting of kitchen, dining room, laundry facilities, and offices, and three car garage. This building serves as the dining room for the residents and on weekends the retreat attendees.

Proposed Marian Center - Daughters of Mary & Joseph (cont.)
Project Description - April 8, 1992

Staff House - Single story residential building consisting of six bedrooms, living room, kitchen and three bathrooms. Building houses Daughters of Mary and Joseph community resident staff members. Adjacent to house is two car garage.

Classroom Building - Single story building presently consisting of two classrooms, supply room, library, toilet rooms and an office. It is proposed to demolish the office, toilet rooms and library. This would leave the two classrooms and supply room and it is proposed to add new toilet rooms which would comply with current handicapped requirements.

BURDEN OF PROOF STATEMENTS

1. The site is approximately 5.98 acres in size, located in an Institutional zone and all structures meet required set backs from side yards. The side yard set back proposed at the new "Marian Center" of 20'-0" is in compliance with Section 17.28.030. Over 50% of the site will remain in natural growth or cultivated landscape. The site location proposed for the "Marian Center" is presently asphalt paving which is currently not being used. Overall building height proposed is consistent with the height of the existing novitiate it will abutt.

2. The proposed addition of the "Marian Center" would not generate a significant number of traffic "trips" per day. It is intended to provide one vehicle with driver for transportation for the senior members use for off site visits to doctors or others. The overall use of the site will be otherwise unaffected in any manner and with addition basic traffic patterns would remain the same.

3. Proposed "Marian Center" will not adversely affect adjacent properties due to the unique location of the overall site. Located to the west is Saint John Fisher Parish which is well shielded from this site by trees and landscape growth, the north and east front onto Crest Road and the proposed structure, set back adjacent to the west property line, would not be visible from the road, the south property line is separated from adjacent developed property by a natural gully and the structure is set back approximately 70 feet property line.

4. This development and its use was initiated in 1959 prior to the City's incorporation or adoption of the General

Proposed Marian Center - Daughters of Mary & Joseph (cont.)
Project Description - April 8, 1992

Plan. Application for an addition to the Staff House was reviewed by the City of Rancho Palos Verdes on September 10, 1991 and approved as Conditional Use Permit No. 165. The proposed addition is consistent with the General Plan as a permitted use in Section 17.28.020 C for an Institutional District. The proposed project meets the development standards, will have no significant overall affect and is consistent with the existing use of the property.

DOCUMENTS CONCERNING
MARY AND JOSEPH RETREAT CENTER



Weekend Retreats



*Mary & Joseph
Home Page*



Weekend Retreats



Day Programs



Extended Retreats



Our Presenters



Special Programs



General Information



Map & Directions



Facility Amenities

**Zen Retreat: Old Things Are Passed Away, All Things Become New
Weekend: 7:00 pm Friday, July 25 to Sunday Afternoon, July 27, 2008**

This silent retreat starts with a travelers dinner on Friday evening. It includes meditation, private interviews and daily talks. Using the Zen method and discarding that leads to new life and a new creation. For information, call Gerry

COST:	Paid in full by July 5	After July 5
Weekend per person/shared	\$170	\$195
single room if available	\$270	\$295

**He Alone is Our Hope
7:00 pm Friday, October 5 to 2:00 pm Sunday, October 7**

"Without wonder, without hope we are condemned to live on the thin deceitful retreat will focus on what happens when we give our "yes" to the Lord. It is persistent hope. But the Lord is faithful and has promised never to leave us a Healing Service with time for personal ministry. For information, call Gerry

COST:	Paid in full by September 12	After September 12
per person/shared	\$155	\$180
single room if available	\$235	\$265

**Honesty in Recovery; 12 Step (AA) Retreat for Women
7:00 pm Friday, November 7 to 1:30 pm Sunday, November 9**

In our addiction, we have to lie a lot. In recovery, we start by not lying and being respected, trusted and loved. As we share our experience of this transition supported. This retreat is spiritual, not religious in nature. Non-denominational For information, call Sr. Julia at (310) 377-4867 ext 256.

COST:	Paid in full by October 17	After October 17
per person/shared	\$155	\$180
Single room if available	\$235	\$260

**Ch'an (Chinese for Zen) Meditation Retreat
7:00 pm Friday, November 21 to 5:00 pm Sunday, November 23**

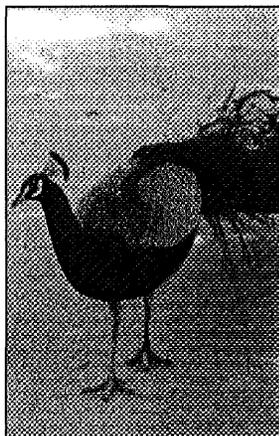
Break away from your hectic, busy life; nourish yourself with relaxation and weekend of Ch'an in every moment, walking, sitting, eating a meal and enjoying the practice of direct contemplation, you will learn to look at things from fresh and the environment in a loving and caring way. We will discuss Buddhist teacher Venerable Chang Wu is a teacher of Chan Buddhism and resident nun at the organization founded by her teacher Chan Master Sheng Yen. For information call 234.

COST:	Paid in full by October 31	After October 31
-------	----------------------------	------------------

per person/shared	\$160	\$185
single room if available	\$245	\$270

**Keeping Up to Date; 12 Step (AA) Retreat for Married Couples
7:00 pm Friday, December 5 to 1:30 pm Sunday, December 7**

The Great Al-Anon Insight: We don't have to 'get' the other person to under
When each partner in a recovering marriage does this, the marriage gets ve
religious in nature. Non-denominational. For information, call Sr. Julia at
COST: Paid in full by November 14 After November 14
per couple \$310 \$360



HOME

**Being in Love with Love: The Mystic Path of Blessed John Ruusbroec
7:00 pm Friday, December 12 to 1:30 pm Sunday, December 14**

A silent retreat devoted to exploring the teachings of the 14th century Christ
following the guidelines found in his classic work *The Divine Espousals*, we v
"dark stillness in which all lovers lose their way." Time will be given for silen
discussion of the themes presented. The retreat is intended to be both a bas
ongoing encouragement for those more experienced in contemplative spiritu
phases of the spiritual journey, which for Ruusbroec, are: *The Active Life*, in
center of our daily activities and concerns. *The Interior Life*, in which we go
permeating every aspect of our lives. *The Contemplative Life*, in which the l
God's love, allowing us to live in the daily awareness that God's love is the v
For information, call Gerry at (310) 377-4867 ext 234.

COST:	Paid in full by November 21	After November 21
per person/shared	\$215	\$240
single room if available	\$310	\$335



Mary & Joseph Retreat Center

(310) 377-4867

5300 Crest Road
Rancho Palos Verdes
California 90274

DAYS & EVENINGS OF PRAYER
WEEKENDS & 7-DAY RETREATS
1992 - 1993

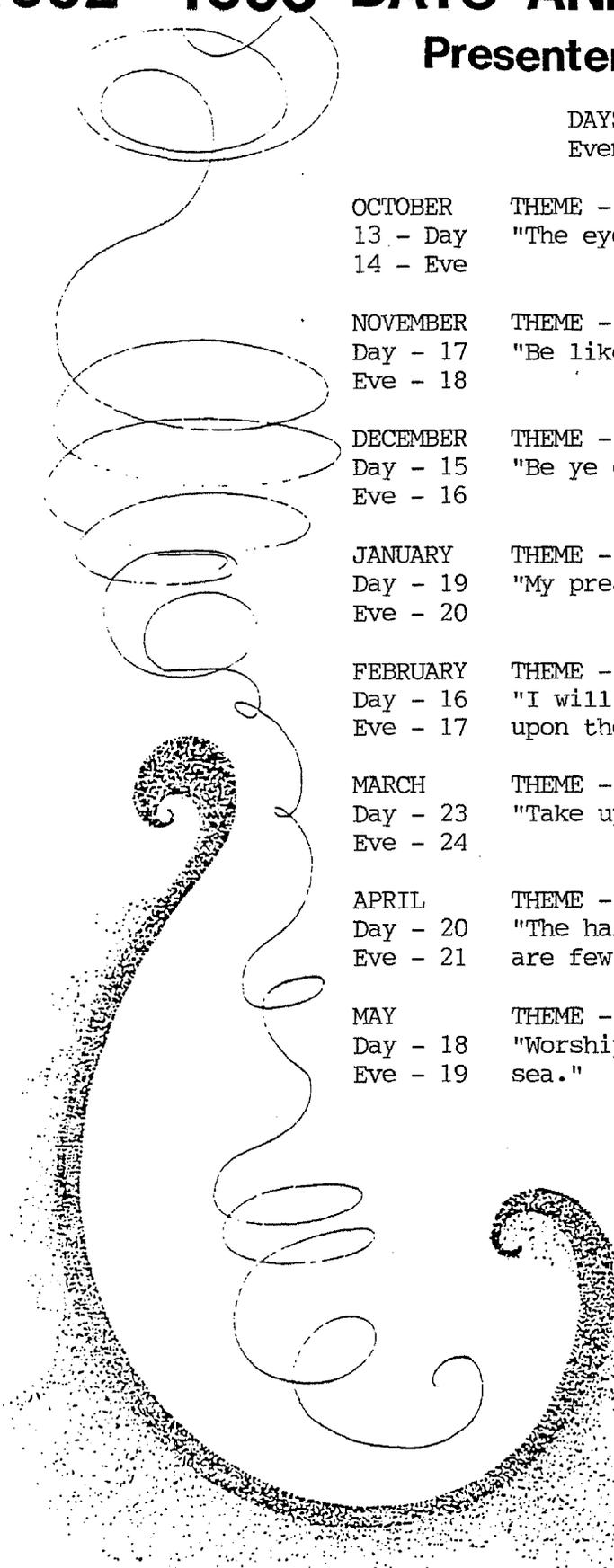
OCTOBER	13	Day of Prayer, Tuesday, 9:00 - 3:00 pm - Bring Lunch
"	14	Evening of Prayer, Wednesday, 7:30 pm - 10:00 pm
"	23 - 25	Weekend, Friday Evening to Sunday, at 1:00 pm Father Joe Scerbo, SA
NOVEMBER	17	Day of Prayer, Tuesday, 9:00 - 3:00 pm - Bring Lunch
"	18	Evening of Prayer, Wednesday, 7:30 - 10:00 pm
"	20 - 22	Weekend, Friday Evening to Sunday at 1:00 pm Father Tom Hand, SJ
DECEMBER	15	Day of Prayer, Tuesday, 9:00 am - 3:00 pm - Bring Lunch
"	16	Evening of Prayer, Wednesday, 7:30 pm - 10:00 pm
"	19	Advent Day of Prayer, 9:00 am - 3:00 pm - Bring Lunch Sister Johanna Leahy, DMJ
"	18 - 20	Advent Weekend for Sisters ONLY, Friday Evening to Sunday at 1:00 pm Father Rich Danyluk, SSCC
JANUARY	19	Day of Prayer, Tuesday, 9:00 am - 3:00 pm - Bring Lunch
"	20	Evening of Prayer, Wednesday, 7:30 pm - 10:00 pm
FEBRUARY	16	Day of Prayer, Tuesday, 9:00 am - 3:00 pm - Bring Lunch
"	17	Evening of Prayer, Wednesday, 7:30 - 10:00 pm
"	26 - 28	Weekend, Friday Evening to Sunday at 1:00 pm Father Gregory Elmer, OSB
MARCH	23	Day of Prayer, Tuesday, 9:00 - 3:00 pm - Bring Lunch
"	24	Evening of Prayer, Wednesday, 7:30 pm - 10:00 pm
"	26 - 28	Weekend, Friday Evening to Sunday at 1:00 pm Father Rich Danyluk, SSCC
APRIL	20	Day of Prayer, Tuesday, 9:00 am - 3:00 pm - Bring Lunch
"	21	Evening of Prayer, Wednesday, 7:30 pm - 10:00 pm
"	4 - 10	6-Day Holy Week Retreat, Sunday Evening to Holy Saturday morning at 9:00 am Father Gregory Mayers, CSSR
MAY	14 - 16	Weekend, Friday Evening to Sunday at 1:00 pm Father Aloysius Michael
"	18	Day of Prayer, Tuesday, 9:00 am - 3:00 pm - Bring Lunch
"	19	Evening of Prayer, Wednesday, 7:30 - 10:00 pm
JUNE	20 - 27	7-Contemplative Retreat, Sunday Evening to the following Sunday at 11:00 am - Father Gregory Elmer, OSB
"	27 - July 3	7-Day Contemplative Retreat, Sunday Evening to the following Sunday at 11:00 am - Father Tom Hand, SJ
JULY	4 - 9	5-Day Intensive Retreat, Sunday Evening to Fri. at 1:00 pm Father Gregory Mayers, CSSR

1992-1993 DAYS AND EVENINGS OF PRAYER

Presenter : Sr. Johanna Leahy, DMJ

DAYS OF PRAYER \$5.00

Evenings of Prayer \$4.00



OCTOBER	THEME - BLINDNESS - Is. 29:18
13 - Day	"The eyes of the blind shall see."
14 - Eve	
NOVEMBER	THEME - FIRE - Rev. 3:18
Day - 17	"Be like gold tried in the fire."
Eve - 18	
DECEMBER	THEME - WORD - Jam. 1:22
Day - 15	"Be ye doers of the word."
Eve - 16	
JANUARY	THEME - PRESENCE OF GOD - Ex. 33:14
Day - 19	"My presence shall go with you."
Eve - 20	
FEBRUARY	THEME - CUP - Ps. 116:13
Day - 16	"I will take the cup of salvation and call
Eve - 17	upon the name of the Lord."
MARCH	THEME - CROSS - Mat. 16:24
Day - 23	"Take up your cross daily and follow Me."
Eve - 24	
APRIL	THEME - HARVEST - Luke 10:2
Day - 20	"The harvest is rich but the laborers
Eve - 21	are few."
MAY	THEME - THE SEA - Rev. 14:7
Day - 18	"Worship the Maker of heaven, and earth, and
Eve - 19	sea."

The language of symbol speaks to our hearts. Through the use of Scripture, theology and psychology, these symbolic themes will be given flesh. The enrichment gained from this should serve as a background for the continuing deepening of our Prayer Life.

So, come and be with us, once a month for teaching, prayer, and the celebration of the Eucharist.

May our prayers rise like incense before You

The Gift of Meditation

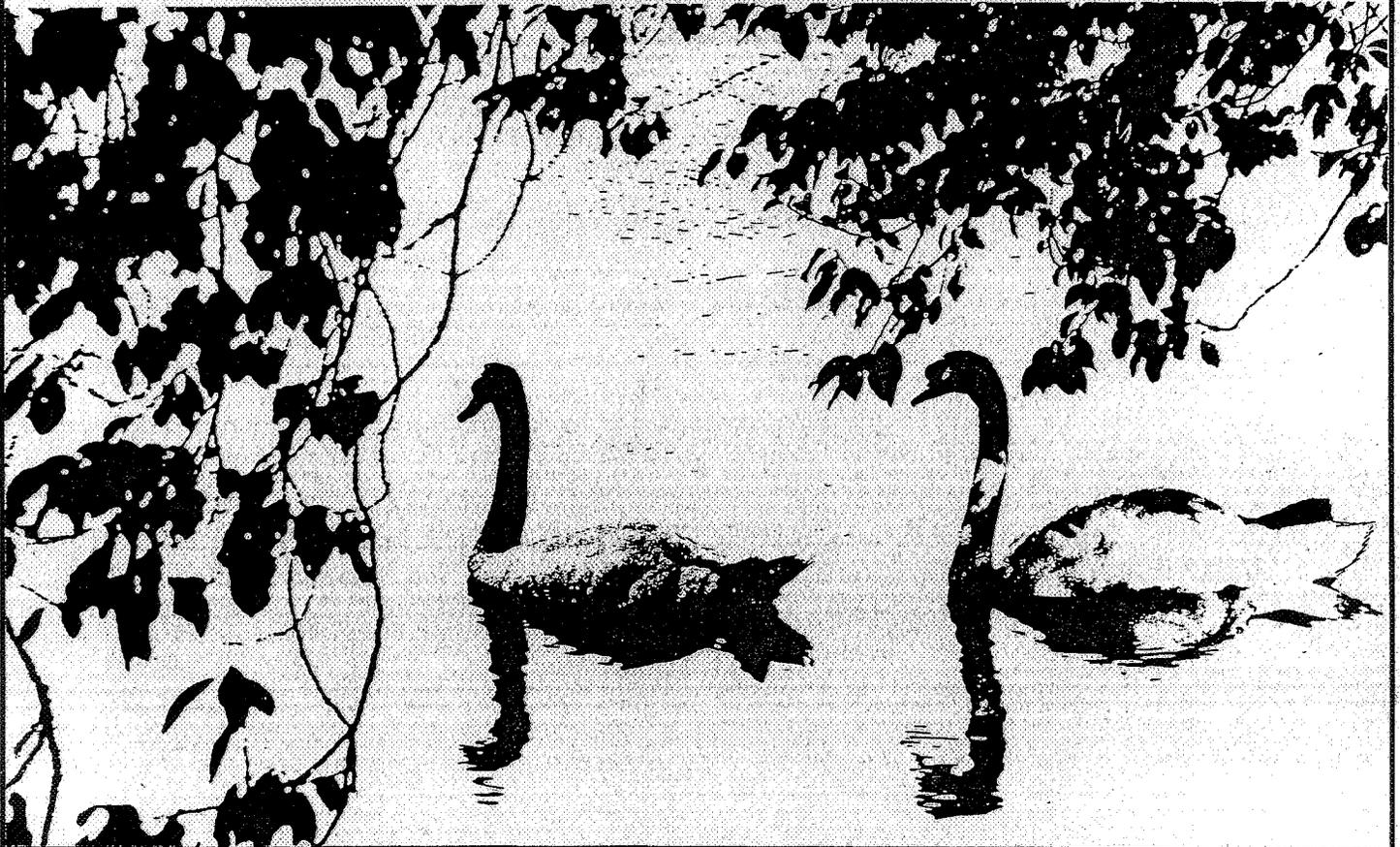
Sundays ~ 5:00-6:15pm

Sr. Margaret Helmes, DMJ

Take an hour for Yourself on Sunday evening. Experience the deep peace and the power of sitting together in silent prayer as you are brought to the quiet and clarity of God-centered meditative consciousness. A short instruction will introduce the actual meditation and time will be provided at the end of each session for DISCUSSION, SHARING, QUESTIONS AND ANSWERS.

Sessions will begin on September 6 and will be held on alternate Sundays, EXCEPT November 29 and December 27.

Freewill Offering



FOR FURTHER INFORMATION PLEASE CALL (310) 377-4867, Ext. 230

Mary and Joseph Retreat Center

5300 Crest Road, Rancho Palos Verdes, CA 90274

MARY AND JOSEPH RETREAT CENTER
PARKING REQUIREMENTS

PARKING REQUIREMENTS SUMMARY

CITY OF RANCHO PALOS VERDES REQUIREMENTS

NOVITIATE BUILDING (HOUSING)

26 BEDROOMS

1 LIVING SUITE

SERVICE BUILDING (DINING ROOM FOR RETREAT)
EMPLOYEES

RETREAT CENTER HOUSING (TWO BUILDINGS)

15 BEDROOMS EACH BUILDING

RETREAT CENTER LOUNGE (FOR USE OF
RETREAT ATTENDEES - SEE ABOVE)

CHAPEL - SEATING 128 PERSONS

EDUCATIONAL

2 ROOMS 29 FT. X 31 FT. = 2 x 899 SQ. FT. = 2 x 45 PERSONS

HOUSE DWELLING UNIT - 6 BEDROOMS

PROPOSED MARIAN CENTER - 12 BEDROOMS

TOTAL REQUIRED PARKING FOR SITE

ON SITE PARKING SUMMARY

UPPER FRONT LOT PARKING PLACES

57 PLACES

LOWER FRONT LOT PARKING PLACES

22

PARKING AT HOUSE & SERVICE BUILDING

10

TOTAL PAVED PARKING

89 PLACES

1 - 3 CAR GARAGE/1 - 2 CAR GARAGE

5

TOTAL ON SITE PARKING AVAILABLE

94 PLACES

Leza Mikhail

From: Nancy Ganahl [diamondheadnan@netzero.com]
Sent: Tuesday, September 16, 2008 10:34 AM
To: LezaM@rpv.com
Subject: St John Fisher building request

Dear Madam,

Please approve the building of St. John Fisher parish's new church. We can see no downside to this building. It will only add a beautiful new worship space on our peninsula. Everything else will be as it is now: the same parishioners, the same level of usage, the same impact on the community as now exists... we are good neighbors and will remain so.

We are requesting permission to build a beautiful structure that maintains the beauty of the area on a lot that has space for it and a good setback from the street.(Compare this to the blight that is the Peninsula Center.)

Thank you for reading our input.

Sincerely, Robert and Nancy Ganahl

All is not lost! Click now for professional data recovery.

Leza Mikhail

From: Sherry Southgate [shersouth@cox.net]
Sent: Monday, September 15, 2008 7:23 PM
To: LezaM@rpv.com
Subject: Support for St. John Fisher Project

Dear Ms. Mikhail:

I am writing to express my strong support of the St. John Fisher Church project. I am a resident of RPV who lives less than a mile from the intersection of Crenshaw and Crest. During the past nine years I have been a frequent visitor at my daughter's home in a neighborhood adjacent to the church. My visits occur several times each week and include Sunday and holiday visits when the church is having services. I have never witnessed excessive, disruptive noises or clogged traffic conditions during these times.

It is my understanding that noise tests have been conducted with the carillon bells and that the results were considered to be less than significant. Other environmental impact studies of the entire project have shown no negative results for the surrounding residential areas. I have read both the original and revised plans, and it seems that the church has worked diligently to address the concern of neighbors.

It appears there are a minority of extremely vocal opponents to this project who are intent on preventing any expansion of the church facilities. We are each entitled to our opinion on these issues, but we should make sure that the personal biases of people, including the religious bias of some, do not reign supreme in this matter. It is a fact that there are several vocal anti-Catholics who are in opposition to this project.

I believe the improvements this project proposes would beautify this community and I highly support the approval of these plans.

Sincerely,

Sherry Southgate
11 Via Porto Grande
Rancho Palos Verdes, CA 90275

Leza Mikhail

From: June Conrad [jcon5432@yahoo.com]
Sent: Monday, September 15, 2008 9:36 PM
To: LezaM@rpv.com
Cc: lhuntcounts@aol.com
Subject: St John Fisher Building Project - Conrad Family In Support

Dear Leza,

We respectfully ask that our full support for the St. John Fisher Building Project at the corner of Crest and Crenshaw be shared with the Planning Commission.

We moved to RPV from outside the area eight years ago. We made our first friends at St. John Fisher as it was a welcoming community and foundation of the greater community into which we expanded friendships and connections.

We strongly support this project for many reasons, primarily:

1. The new plan opens the church to the community without imposing on the community.
2. The new architecture will create a positive aesthetic impact, replacing an aged sign with an elegant and warm entrance.
3. Views will not be impacted; views of single family homes immediately south of the church on Crenshaw will not be impacted due to the orientation of the building and residents in other areas who might be able to see the tower will fully maintain their views of the city and the ocean.
4. No increased traffic from the existing congregation, who are in need of new facilities. There are no reasonably anticipated increase in future traffic.
5. This church community has been a good neighbor for decades and is sincerely devoted to maintain that position. There are no records of complaints about noise, traffic or parking in the past.
6. Scheduled times for religious services and other activities are staggered to minimize parking or traffic congestion. The proposed plan offers more-than-adequate parking for on-site activities.
7. The pre-school addition will allow car-pooling families to ease traffic on the hill with a single destination drop and pick up point. There is sufficient parking for the existing teachers and new preschool teachers. Carpooling is already encouraged by school administrators.

Your thoughtful and due consideration in this matter is greatly appreciated. As members of the Rancho Palos Verdes community, we applaud St. John Fischer's respect for the community and dedication towards a good neighbor policy.

Sincerely,
William and June Conrad
5432 Ironwood St., RPV
tel: 310.373.4442

Leza Mikhail

From: Eileen Rivera [ecrivera@cox.net]
Sent: Monday, September 15, 2008 10:07 PM
To: LezaM@rpv.com
Subject: Support St. John Fisher's Bldg Project

Dear Leza,

I am a resident of Island View and I am very hopeful that the Planning Commission will approve the St. John Fisher building project as it is.

I attended the city's Planning Commission meeting on July 22 in support of the project. I also attended the meeting held this last Saturday, September 13, at St. John Fisher to learn more about how the church changed their plans in response to the neighbors' requests. The city's Planning Commission has given my neighbors the opportunity to voice concerns and share ideas. As a result, the church has made significant changes and taken several actions to address concerns voiced.

- Reduced the size of the church from 18,400 to 17,000 (17%).
- Setback the church off Crenshaw from 40' to 57' (43% setback).
- Reduced steeple height from 88' to 74' (by 16%).
- Reduce top of tower (bldg mass) from 72' to 60' (by 17%).
- Relocated the sound source of the bells – directed toward interior of property and volume controllable.
- Tested the sound level of the bells on Friday, August 22 and published the resulting report for all interested parties to peruse.
- Conducted a formal study on the effect of shadows and published that report for all of those interested.
- Scheduled three meetings, taking place this week, so that neighbors can learn the details about what is being proposed.

The church has respectfully complied with the requests of the neighbors, as well as all codes required by the city.

Personally, I believe St. John Fisher Church is in need of an upgrade. Rancho Palos Verdes is a beautiful community and deserves an updated Catholic Church for its residents to worship and for its children to learn. Island View residents have maintained their properties and have worked together to keep their neighborhood safe. I commend St. John Fisher, our neighbor across the street, for spending their time and their money to upgrade their facility so that they maintain the same standard that we have come to expect as residents of Rancho Palos Verdes.

I encourage the Planning Commission to approve the SJF building plan as revised and presented to date. Thank you for your arduous attention to this matter.

Sincerely,

Eileen Rivera

22 San Clemente Drive
Rancho Palos Verdes, CA 90275

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Tuesday, September 16, 2008 7:34 AM
To: 'Leza Mikhail'
Subject: FW: Building Project

From: msilvestremd@pol.net [mailto:msilvestremd@pol.net]
Sent: Monday, September 15, 2008 9:35 PM
To: pc@rpv.com
Cc: dkurt@sjf.org
Subject: Building Project

As a resident of the Peninsula over 30 years, I urge the Commission to approve the Saint John Fisher Church Building Project. There are very few safe, congenial and easy to reach places where the teenagers will be able to get together. Part of the existing building will be used by the school students for athletic events on a daily basis; there will be plenty of room for other young people to use the school facilities for sport and games.

Respectfully,

Mario Silvestre, M.D.
1401 Via Arco
Palos Verdes Estates, 90274

25 Santa Barbara Drive
Rancho Palos Verdes, CA 90275

September 10, 2008

Mr. Joel Rojas, AICP
Director of Planning, Building and Code Enforcement
City of Rancho Palos Verdes
30940 Hawthorne Boulevard
Rancho Palos Verdes, CA 90275

RECEIVED
SEP 11 2008
PLANNING, BUILDING AND
CODE ENFORCEMENT

Re: St. John Fisher Proposed Expansion - Traffic and Other Issues

Dear Mr. Rojas:

I am a homeowner in the Island View community directly across the street from St. John Fisher. As I have learned more about this project over the past few months since it became public, I have grown increasingly concerned about the numerous significantly adverse effects it will have on our community. These adverse effects include the increased traffic flow through an already congested residential area, the lack of adequate parking within the project, the size and mass of the proposed building, the noise from the proposed ringing of bells and addition of a gymnasium, and an architectural design that is completely incompatible with the traditions of Rancho Palos Verdes. These developments would have a fundamentally detrimental impact on the many residents who surround SJF, and thus I strongly urge you to require that the project not move forward without meaningful review and modification to address these adverse effects.

I understand that many of my neighbors have written to you with respect to a number of these issues, and so I would like to address this letter primarily to the issue of traffic. As you know, SJF is located at the corner of Crest Road and Crenshaw Boulevard. This intersection is extremely busy, as it services all traffic flowing out of the Del Cerro, Valley View and Island View neighborhoods and Del Cerro Park, a large percentage of the traffic flowing into and out of the City of Rolling Hills, most traffic for the numerous communities along Crest Road, and a significant amount of through traffic headed to Hawthorne Boulevard and the western portions of Palos Verdes. As my backyard abuts Crest Road, I am well aware of the thousands of cars that flow through this intersection on a daily basis.

I believe the proposed SJF expansion will significantly and adversely affect the flow of traffic through this intersection, and particularly the portion of Crenshaw Boulevard immediately south of Crest Road. First, the lack of adequate parking within the SJF grounds is likely to result in people parking their cars on Crenshaw Boulevard south of Crest, as well as in other spots adjacent to the two entrances to SJF. The project currently has 359 spaces, which is already well below the number of parking spaces that should be required (480). Notwithstanding the increased development and likely need for more parking (as much as 667 spaces), SJF proposes to reduce the number of parking spaces to 331, less than half of the number that should be required. The expansion of the sanctuary and the addition of a pre-school and a gymnasium, plus SJF's stated desire to reduce the number of masses and increase the number of parishioners per

mass, should mean that that SJF requires many more parking spaces, not less. Without adequate parking, these vehicles will end up on the surrounding streets, which are not wide enough to accommodate both increased traffic flow and on-street parking.

As you can see from the attached diagram, one of the principal entrances to SJF is located on Crenshaw Boulevard immediately south of the intersection with Crest Road. Huge numbers of vehicles flow through this gap every day, including the residents of Del Cerro, Valley View and Island View, as well as visitors headed to Del Cerro Park or the 1,200 acres of conservation land below Del Cerro. In order to get into the SJF entrance, vehicles must cross this flow of traffic in both directions. The turning lanes into SJF are very short and the entrance is narrow. Thus, very few cars are able to make the turn against the flow of traffic at any one time. As a result, during heavy periods the traffic backs up into the Crest-Crenshaw intersection. This situation is further exacerbated by vehicles attempting to exit the SJF parking lots at the same time, often attempting to make left-hand turns against the traffic flow and in front of the line of cars attempting to enter the SJF parking lots. This already bad situation would get much worse if the streets were lined with parked cars, which would block lanes and sight lines. On-street parking will result in a significantly adverse impact on traffic flow, and will also likely result in an appreciable increase in the risk of serious injury or death.

Second, the proposed expansion plans also call for a new pedestrian entrance to St. John Fisher to be constructed right at the intersection of Crest and Crenshaw. This entrance will certainly further encourage on-street parking on Crest and Crenshaw, as well as people attempting to pick up and drop off passengers in the middle of a very busy intersection with an already complex flow of traffic. Even greater congestion and higher risk of injury will be the result. This intersection has already been the site of numerous serious accidents in recent years, and one can reasonably expect that more will occur as a result of the proposed SJF expansion.

Given these obvious issues, I was very surprised to learn that the traffic analysis prepared by SJF's consultant concluded that the proposed expansion would have negligible impact. However, even a lay reader can see that SJF's analysis is seriously deficient in at least the following seven areas.

1. No Analysis of Crenshaw South of Crest. The SJF study omitted any analysis of the impacts on traffic on Crenshaw Boulevard south of Crest Road. This area includes one of the two entrances to SJF as well as the entrance to the hundreds of homes in the Valley View, Del Cerro and Island View communities, as well as Del Cerro Park and popular conservation areas. This area clearly will be affected by the proposed expansion and cannot be left out of the study.

2. No Analysis of On-Street Parking. The SJF study did not address the impact of on-street parking on traffic flow, presumably because it assumed SJF would provide sufficient parking for all vehicles on its grounds. For the reasons cited above, this will not be the case. Either SJF must provide significantly more parking spaces or they must analyze the impact of the on-street parking that will result if they do not.

3. No Analysis of Pedestrian Entrance. The SJF study did not address any impact of the proposed pedestrian entrance at the Crenshaw-Crest intersection. It is clear that this entrance would encourage both on-street parking and passenger drop-offs in the middle of a very busy intersection. These will clearly impact traffic flows, and therefore must be analyzed.

4. Unreasonable Assumptions re Increased Traffic From SJF Project. The SJF study assumes the proposed expansion will result in very few additional vehicles entering and exiting the SJF grounds, notwithstanding the addition of a larger sanctuary, a new gymnasium, a new pre-school program and a reduction in the number of masses. It is reasonable to assume that the overall number of SJF parishioners could grow, given the new sanctuary and its increased capacity. However, even assuming no growth, SJF has publicly stated its intent to reduce the number of masses it holds. Thus, it is also reasonable to assume that more parishioners will attend each mass, generating more traffic during peak periods. Even assuming one less mass attended by 300 people would require another 187 cars (or 374 entrances and exits) to be absorbed in peak periods at 1.6 people per car (the average persons per car recently observed). It is reasonable to assume that a new pre-school with 40 students alone will generate an additional 80 trips per day. It is reasonable to assume that the gymnasium at times will be in use while events are taking place in the sanctuary. It is not reasonable, or even credible, to assume that all of these will result in no meaningful increase in traffic.

5. Unreasonable Assumptions re Increased Traffic From Other Factors. The SJF study also assumes that this area will experience negligible increases in traffic resulting from factors other than the SJF project. This is not a reasonable assumption. The City and various private groups have invested significant funds in Del Cerro Park and the surrounding conservation areas, presumably with the intent that more people will use them. Weekends are the peak periods for visits to these areas, but that is precisely the same period when the SJF project will experience the most use. The only way to access these areas from the top of the hill is via Crenshaw south of Crest, past the SJF entrance. It is also unreasonable to assume that the Terranea project and other residential and commercial developments in our City and elsewhere on the Peninsula will not result in any increase in traffic.

6. No Analysis of Peak Period Traffic. The SJF study did not calculate traffic volumes on peak period use. An increase of a few hundred cars per day may be negligible if spread out over the entire day. However, the SJF project will generate large amounts of traffic during very small increments of time, and that traffic will often involve crossing traffic, such as between masses or other events that are closely scheduled.

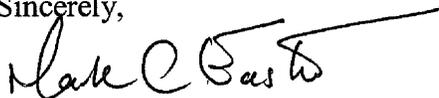
7. No Analysis of Construction Traffic. Finally, the study also did not address the impact of a long-term construction project on traffic in the area. It is reasonable to assume that the grading and construction of the proposed expansion will take several years, involve the transportation of huge amounts of soil, and require many dozens of vehicles trips per day. It would also be reasonable to assume that SJF does not intend to halt all use of the existing SJF facilities during construction. As a result, the construction project can reasonably be expected to have a very significant impact on traffic.

Mr. Joel Rojas - September 8, 2008

In light of these serious omissions, the Commission should order the traffic study to be redone. The Commission should also consider recommending limitations on SJF's conditional use permit that would fully mitigate the adverse effects on traffic resulting from the proposed expansion. These would include requiring additional parking on the SJF grounds, prohibiting on-street parking on Crenshaw and Crest and other streets in the areas surrounding SJF, eliminating the proposed pedestrian entrance at the Crenshaw-Crest intersection, restricting or prohibiting the simultaneous use of the sanctuary and gymnasium facilities, closing the SJF entrance on Crenshaw south of Crest, reducing the capacity of the proposed sanctuary, and requiring carpooling.

I am not opposed to SJF building a new sanctuary that meets the needs of its parishioners. However, governing laws and regulations require that the proposed expansion not impose significant adverse impacts on the surrounding community. It is clear that there are a number of such impacts, none of which have been addressed to date by SJF. As a result, I would urge the Commission to recommend that the project not proceed without further review and modifications to mitigate these serious concerns.

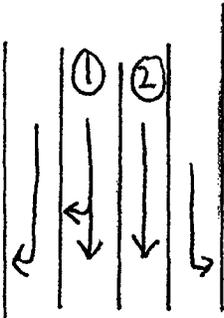
Sincerely,

A handwritten signature in black ink that reads "Mark C. Easton". The signature is written in a cursive style with a long horizontal line extending from the end of the name.

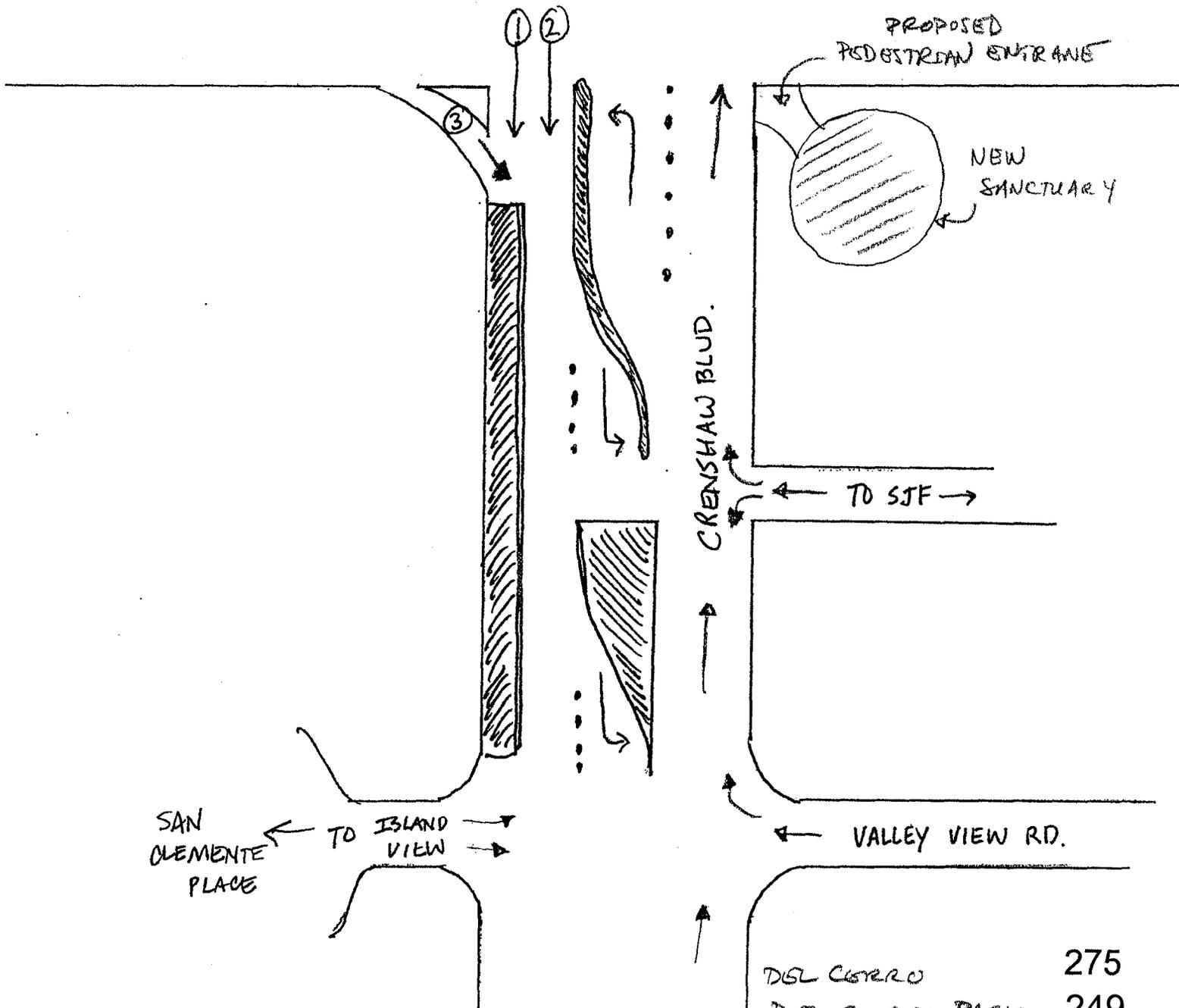
Mark C. Easton, Esq.

Encl.

INTERSECTION CRENSHAW BLVD. AND CREST RD - RPV



CREST RD.



DSL CERRRO 275
DSL CERRRO PARK 249

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Wednesday, September 10, 2008 5:08 PM
To: 'Leza Mikhail'
Subject: FW: St. John Fisher Building Project

-----Original Message-----

From: chasmclaughlin@verizon.net [mailto:chasmclaughlin@verizon.net]
Sent: Wednesday, September 10, 2008 5:06 PM
To: pc@rpv.com
Subject: St. John Fisher Building Project

Planning Commission

I have been a member of St. John Fisher Church since its inception some 40 to 50 years ago and strongly support the new Building Project. It is very much needed to support the many new families and the new programs within the Church--many of which provide needed help to underprivileged families in the South Bay area whether or not they belong to a certain religion.

Chas. A. McLaughlin

Leza Mikhail

From: Dwight Yoder [dwight.yoder@cox.net]
Sent: Wednesday, September 10, 2008 5:40 PM
To: Leza Mikhail
Subject: Re: List of RPV churches

Leza

Thanks for the information. I told people you had done some good work.

But, to clearly understand it, they should go look at each church and refine the data to properly reflect the various heights, and their relationships at each church.

At least you and I put together the complete list. And that got people off to good start. Thanks again for your help.

Best wishes

Dwight

Leza Mikhail wrote:

> Dear Dwight,

>

> I wanted to clarify the numbers that were depicted on the map that you

> used with Staff's notes. The symbol that was a house was for the

> height of the main structure to the highest ridgeline. When it said

> tower, the tower was measured from grade to the top of the highest

> point of the tower, not including a cross or other religious

> architectural feature. If there was a cross symbol, the height

> depicted was for the total height of the cross (or religious

> architectural feature). If there was no tower height indicated, then the cross was on top of the structure, with the exception of St.

> Paul's, which has a large cross at the front of the church on ground.

>

> Hope this helps clarify a bit, in terms of overall heights.

>

>

> Leza Mikhail

> Associate Planner

>

> City of Rancho Palos Verdes

> Planning Department

> 30940 Hawthorne Blvd.

> Rancho Palos Verdes, CA 90275

> www.palosverdes.com/rpv/planning/planning-zoning/index.cfm

> (310) 544-5228 - (310) 544-5293 f

> lezam@rpv.com

>

>

> -----Original Message-----

> From: Dwight Yoder [mailto:dwight.yoder@cox.net]

> Sent: Wednesday, September 10, 2008 11:09 AM

> To: lezam@rpv.com

> Subject: List of RPV churches
>
> Leza
> First, thank you for you time, and Joel Rojas for his time last
> Friday, as we discussed the process for submission of documents for
> the next Planning Commission meeting.
>
> I also asked about churches in RPV. You were very helpful in showing
> me the map you had prepared, and the data thereon. I prepared an
> excel schedule documenting information I gathered from various
> sources. The schedule is incomplete, and so marked. I am attaching
> the schedule, but please read my cautions below. I promised you I
> would share the schedule I made, so now I am sharing it, incomplete as it is.
>
> One area I think needs work on the schedule is the total height of the
> structures. You had said that the total was the sum of the building,
> the tower and the cross. In some cases, the tower and cross stand
> separate from the building. Thus, the highest point is the sum of the
> tower and cross. This is not a criticism of your work. Instead, I am
> indicating that I just have not had the time yet to work through these
> issues. I did visit Ascension Lutheran Church on Silver Spur and put
> in my estimates of heights. Such estimates are guesses from my
> observations.
>
> I have provided this schedule to others, and I think they are
> gathering more data. But I am not sure they will come back to me to
> update this schedule. They may just move on to another form of
> document. If I do get more data making the schedule significantly
> more accurate, I will send you an updated version.
>
> Finally, if people wish to submit letters in regard to the St John
> Fisher project, is it correct that they can fax such letters to
> 310-544-5293? I am advising some people, and I don't want to provide
> an incorrect fax number.
>
> Thank you and Joel again for your time and attention.
> Best wishes
> Dwight Yoder
>
>
>
>

10 September 2008

City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes CA 90275

RECEIVED

SEP 10 2008

Attn: Leza Mikhail
Planning Department

PLANNING, BUILDING AND
CODE ENFORCEMENT

Subject: Data Request Resulting from the City's Application of Code 17.50.040(C)(1), titled Required Parking Facilities [page 302], to the Proposed St. John Fisher Project

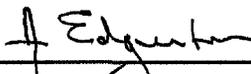
Dear Leza:

Thank you for clarifying the City's application of subject Code to the SJF expansion. As I now understand this matter, the City has interpreted the Code requirement that required parking spaces be within 300 feet of the building it is to serve to mean that the nearest boundary of the "parking lot" (as opposed to all parking spaces) must be within 300 feet of the building it serves.

It is my understanding from staff that the City has applied this interpretation to other projects within the City. I hereby request that the City provide the undersigned the names, site plans and dates that these projects were approved, along with all that are in the RPV planning review process, as soon as possible. Since we are nearing the deadline for submitting comments, I would appreciate a call when the information is ready, and I will pick it up at City Hall.

Thank you for your assistance in this request.

Best regards,



Al Edgerton
59 Oceanaire Dr.
Rancho Palos Verdes CA 90275

310 544-7390
alnkathye@msn.com

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Wednesday, September 10, 2008 3:29 PM
To: 'Leza Mikhail'
Subject: FW: SJF building project

From: Marianne [mailto:dmdavid@cox.net]
Sent: Wednesday, September 10, 2008 3:22 PM
To: pc@rpv.com
Subject: SJF building project

Dear Sirs,

We have been closely following the meetings concerning our parish's plan to build a new church. For over thirty years we have lived in RPV and have been parishioners at SJF. For about twenty years we have been dreaming and hoping and planning to build a new church and finally complete the original plans for our parish. My husband says for any given project there are always about 10% of the people who will adamantly oppose it on any grounds, no matter how thin and foolish. SJF has always been a good neighbor and this church will only make us a better one. We hope that the desires of the other 90% of the people will win out in this matter. Unfortunately, I will be unable to attend the next planning meeting on Sept. 23rd, but I hope and pray that we will finally get our OK to begin this project.

Thank you for your attention to this matter and for your service to our community.

Marianne David
30322 Rhone Dr.
RPV, CA

Leza Mikhail

From: Dwight Yoder [dwight.yoder@cox.net]
Sent: Wednesday, September 10, 2008 11:09 AM
To: lezam@rpv.com
Subject: List of RPV churches

Attachments: RPVchurches.xls



RPVchurches.xls
(27 KB)

Leza

First, thank you for your time, and Joel Rojas for his time last Friday, as we discussed the process for submission of documents for the next Planning Commission meeting.

I also asked about churches in RPV. You were very helpful in showing me the map you had prepared, and the data thereon. I prepared an excel schedule documenting information I gathered from various sources. The schedule is incomplete, and so marked. I am attaching the schedule, but please read my cautions below. I promised you I would share the schedule I made, so now I am sharing it, incomplete as it is.

One area I think needs work on the schedule is the total height of the structures. You had said that the total was the sum of the building, the tower and the cross. In some cases, the tower and cross stand separate from the building. Thus, the highest point is the sum of the tower and cross. This is not a criticism of your work. Instead, I am indicating that I just have not had the time yet to work through these issues. I did visit Ascension Lutheran Church on Silver Spur and put in my estimates of heights. Such estimates are guesses from my observations.

I have provided this schedule to others, and I think they are gathering more data. But I am not sure they will come back to me to update this schedule. They may just move on to another form of document. If I do get more data making the schedule significantly more accurate, I will send you an updated version.

Finally, if people wish to submit letters in regard to the St John Fisher project, is it correct that they can fax such letters to 310-544-5293? I am advising some people, and I don't want to provide an incorrect fax number.

Thank you and Joel again for your time and attention.

Best wishes
Dwight Yoder

**HOUSES OF WORSHIP
RANCHO PALOS VERDES**

INCOMPLETE DRAFT

RELIGIOUS GROUPS WITH FACILITIES IN RANCHO PALOS VERDES

	NAME	ADDRESS	DENOMINATION	HEIGHTS (in feet)				SEATS	PARKING	WEBSITE	COMMENTS	TELEPHONE NUMBER
				Bldg	Tower	Cross - object	Total					
1	Ascension Lutheran Church	26231 Silver Spur Rd	Lutheran	32	NA	3	35			www.alcrpv.net		310-373-0454
2	Christ Lutheran Church	28850 S Western Ave	Lutheran	28	43	24	95			www.christpv.com	Speakers for bells	310-831-0848
3	Church of Jesus Christ of Latter Day Saints	5845 Crestridge Road	Latter Day Saints	26	53	15	94			www.ldscs.com	Palos Verdes Stake	310-541-0614
4	Community Christian Church	1903 W Summerland St	Non-denominational	20	NA	30	50			www.cccrpv.org		310-832-7304
5	Congregation Ner Tamid	5721 Crestridge Rd		28	NA	NA	28			www.nertamid.com		
6	Mt. Olive Lutheran Church	5975 Armaga Spring Rd	Lutheran	20	NA	12	32			www.mtolivelutheranrpv.org	Missouri Synod	310-377-8541
7	Pacific Unitarian Church	5621 Montemalaga Dr	Unitarian	20	NA	NA	20			www.pacificunitarian.org		310-378-9449
8	Peninsula Community Church	5640 Crestridge Rd	Evangelical	25	42	12	79			www.peninsulacommunitychurch.com		310-377-4661
9	St. John Fisher Catholic Church	5448 Crest Road	Catholic				0	650	359	www.sjf.org		310-377-5571
10	St. Paul's Lutheran Church of Palos Verdes	31290 Palos Verdes Drive West	Lutheran	32	NA	30	62			www.stpaulsrpv.org		310-377-6806
11	St. Peter's By The Sea Presbyterian Church	6410 Palos Verdes Drive South	Presbyterian	50	NA	12	62			www.stpeterspres.org		310-377-6882
12	Wayfarers Chapel	5755 Verdes Drive South	Swedenborgian	24	62	12	98			www.wayfarerschapel.org	aka The Glass Church	310-377-1650

OTHER RELIGIOUS GROUPS IN RPV FOUND DURING SEARCH

13	Chabad of Palos Verdes	28041 Hawthorne Blvd	Judaic	NA	NA		NA	NA	NA	www.jewishpv.com	Uses a meeting room above the 7-11 at Granvia Altimira and Hawthorne	310-544-5544
14	Ride To Fly	50 Narcissa Dr	Therapeutic Horseback Riding	NA	NA		NA	NA	NA	www.ridetofly.com	Appears in the church listings in two yellow pages	310-541-4201
15	South Bay Evangelical Christian Church	5640 Crestridge Rd	Evangelical	NA	NA		NA	NA	NA		A Korean (?) congregation using the Peninsula Community Church facility	310-265-0240

Leza Mikhail

From: barbara shen [barbarashen@cox.net]
Sent: Tuesday, September 09, 2008 8:44 PM
To: pc@rpv.com; davidtomblin@sbcglobal.net; jeff@jefflewislaw.com; pltetreault@netzero.com; lezam@rpv.com
Subject: Support the BUILDING PROJECT AT ST JOHN FISHER

Dear RPV Planning Commissioner

We support the building project at St John Fisher.

The site is a perfect location and it is compatible with the Institutional zone. It is not a residence in a residential zone.

The church existed before the homes in that area. and there are no legitimate traffic problems because the church is an existing congregation.

The improvement of the church, and its esthetic appearance, will bring and attract homeowners of quality who appreciate beauty.

Most of all, it will improve the property value of everyone.

It will be something that we are proud of and want to show visitors to the city.

Our community is in need of youth facilities that will encourage healthy and active physical activity for our youth.

We live near Wayfarer's Chapel and St Peter's Lutheran Church and we enjoy hearing the bells. We do not hear them often enough. It is not disturbing, instead it is relaxing and peaceful to hear.

Again,. we are in favor of the St John Fisher Building Project

Sincerely,
Peter and Barbara Shen

Leza Mikhail

From: shelby@highlinesw.com
Sent: Monday, September 08, 2008 10:11 PM
To: lezaM@rpv.com
Subject: St John Fisher

Dear Leza,

My husband Richard and I completely support the St John Fisher Parish building plan that is before the Planning Commission.

Thanks you,
Richard and Shelby McGirr
310-938-7678
32614 Coastsite Drive C
RPV, 90275
Sent via BlackBerry by AT&T

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Saturday, September 06, 2008 5:32 PM
To: 'Leza Mikhail'
Subject: FW: SJF Church Building Support

From: HAW QUAN [mailto:pvquan@verizon.net]
Sent: Friday, September 05, 2008 2:16 PM
To: pc@rpv.com
Subject: SJF Church Building Support

RPV Planning Committee,

We are long time residents (42 yrs) of RPV before its incorporation and would like to voice our **support** for the new St. John Fisher Church building project. The facilities are needed and will add value to the RPV community. We urge you to approve the project after the 9/22/08 hearing.

Although there will be some short term construction disruptions, it will be a long term gain for the community and will enhance the quality of life on the hill. The buildings blend well with the community and its surroundings. Please look at the long term benefits and the value added benefits to its people.

Thank you,
norm quan

Norman and Helen Quan
5045 Silver Arrow Dr.
Rancho Palos Verdes, CA 90275

Leza Mikhail

From: CAROL SIMONE [casimone@verizon.net]
Sent: Saturday, August 30, 2008 10:50 PM
To: LezaM@rpv.com
Subject: St. John Fisher

Why is the planned bell ringing prior to services at St. John Fisher a problem? I live next to St. Peters By the Sea and their bells ring every hour every day starting at 8 o'clock. Even though they wake me on the rare mornings I would like to sleep in, I would oppose any plan to remove their right to have their bells ring. Still it seems unfair to allow one church to ring bells numerous times each day while simultaneously questioning another church that would like their bells to ring only prior to their services.

Carol Simone, 32653 Seagate Drive #201.

RECEIVED

AUG 25 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Al Edgerton
59 Oceanaire Drive
Rancho Palos Verdes CA 90275

25 August 2008

Mr. Joel Rojas, Director of Planning, Building and Code Enforcement
City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes CA 90275

Subject: St. John Fisher Church's Original (1961) Conditional Use Permit

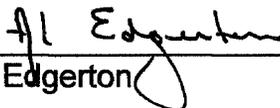
Dear Joel:

Nearby residents of the St. John Fisher Church have, thus far, been unable to obtain a copy of the Conditional Use Permit granted to the Church by LA County when the original buildings were built (circa 1960).

Inasmuch as the current CUP application references that earlier permit and information included therein, we hereby request your assistance in obtaining a copy of that document from the County or the Church to enable the neighbors to validate the information concerning the existing buildings and any associated conditions placed on the development before the City was incorporated.

Thank you for your prompt assistance in this matter.

Best regards,



Al Edgerton

August 25, 2008

Al Edgerton
59 Oceanaire Drive
Rancho Palos Verdes, CA 90275

SUBJECT: LETTER REQUESTING ORIGINAL CONDITIONAL USE PERMIT

Dear Mr. Edgerton,

Staff would like to take this opportunity to thank you for submitting your letter requesting a copy of the original Conditional Use Permit for the St. John Fisher property. The letter was received on August 25, 2008. As we discussed at the counter, Staff received all applications, building permits and staff reports from the County of Los Angeles when the City was incorporated. Unfortunately, Staff is not aware of an original Conditional Use Permit tied to the original construction of the site in 1960. Staff did, however, come across another Conditional Use Permit (CUP #44) that referenced lighting on the subject property in 1979. Unfortunately, Staff only has Conditional Use Permits related to additions (CUP #96 and revisions) and lighting (CUP #44).

If you should have any questions, or would like further assistance, please feel free to contact me at (310) 544-5228 or via email at lezam@rpv.com.

Thank you for your time,

Sincerely,



Leza Mikhail
Associate Planner

August 24, 2008
RECEIVED

AUG 27 2008

Rancho Palos Verdes Planning Commission

Gentleman:

PLANNING, BUILDING AND
CODE ENFORCEMENT

My name is Richard Wizenick, I live in the Villa Verde PUD on the corner of Crest and Crenshaw and drive thru this intersection numerous times each day. In addition I was a member of the Planning Commission of the City of Sierra Madre for 4 years and have had considerable experience with CUP permitting reviews.

I have some concerns with the proposed new church development at St John Fisher, namely the visual impact it will have on the area. The proposed church even after the modifications will be approximately 72 ft high which when you add the additional 25 ft or so from the street level will place it about 100 ft above the intersection. In addition they are proposing to remove the existing canopy of trees and adding a stairway on the corner where there is no foot traffic of any consequence ever. In my opinion this will have a serious impact on the existing area, the other 3 properties on that intersection have trees and or a green belt adjacent to the streets, and I know that at Villa Verde we go thru considerable expense to maintain our area for the benefit of the neighborhood.

The application for this building permit for various reasons requires a CUP, and it is my understanding that the code requirements for Rancho Palos Verdes institutional zones are somewhat vague and therefore this places the burden of responsibility squarely on the shoulders of the planning commission who have the mandate to maintain continuity in the area for the benefit of the citizens and the city of Rancho Palos Verdes.

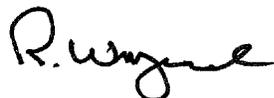
I would suggest that a good compromise would be to limit the overall height of the newly proposed sanctuary to that of the existing one and with the increased setback and existing mature trees would allow the proposed steeple and cross to be seen without complete domination of the area.

The planned entry to the new sanctuary in the rear side of the building adjacent to the parking lot area which should have handicap parking slots that would eliminates the need for the stairs to street and any handicap ramp, the reality is that virtually no one walks to the church, attendees drive there from many areas on the hill. However if the handicap ramp is required by current ordinances then the practical place to put it would on the Crest side east of the intersection below the entrance area where there is a sufficient area to put in a switch back ramp and stairs if necessary.

Thank you for considering these concerns.

Sincerely,

Richard Wizenick
25 Mela Ln.
Rancho Palos Verdes, CA



Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Tuesday, August 26, 2008 8:35 AM
To: 'Leza Mikhail'
Subject: FW: St John Fisher Church

-----Original Message-----

From: Alex Egger [mailto:alexegger@cox.net]
Sent: Monday, August 25, 2008 6:09 PM
To: pc@rpv.com
Subject: St John Fisher Church

This letter is to confirm that we do totally support the building of the new St John Fisher Church. We have been parishioners here for 40 years and we know that the new church will be a great benefit for all the community. Msgr Sork is doing a great job organizing this effort and we support him in every way.

Sincerely
Alex & Ivy Egger

Leza Mikhail

From: Pat Zigrang [pattyperfect@jtzeng.com]
Sent: Wednesday, August 06, 2008 1:18 PM
To: Leza Mikhail
Subject: St John Fisher

As a residents of Rancho Palos Verdes we fully support the project of a new church on the St. John Fisher property. Patricia and Richard Zigrang
5417 Middlecrest Rd Rancho Palos Verdes CA 90275

Leza Mikhail

From: Greg Pfof [gregp@rpv.com]
Sent: Monday, August 18, 2008 4:15 PM
To: Epmbmi2@aol.com; pc@rpv.com
Cc: 'Leza Mikhail'
Subject: RE: St. John Fisher Church Proposal

Mr. and Mrs. Maynard-
Thank you for your email – it will be given to the Planning Commission.

Sincerely,

Gregory Pfof, AICP

Deputy Planning Director

City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275
(310) 544-5228

From: Epmbmi2@aol.com [mailto:Epmbmi2@aol.com]
Sent: Monday, August 18, 2008 3:34 PM
To: pc@rpv.com
Subject: St. John Fisher Church Proposal

Leza Mikhail

Dear Leza.

We would like to add our support to the new church proposal for St. John Fisher Parish, as considerably modified and set back, in response to the Planning Commission's directive.

Over a period of several months, parishioners had the opportunity to review three different designs for the new church. The one which was ultimately selected (and our favorite) was the least obtrusive for the surrounding neighborhood. It was unfortunate that the St. John Fisher Planning Committee didn't include the neighbors in the original deliberations. I guess it was just a human oversight! I understand that this oversight has now been remedied.

One thing that bothers me is the reference to the bells as "noise". I have never heard beautiful church bells referred to as "noise". Those who are opposing the bells are the same people who will spend thousands of dollars to go to Europe and throw open the windows of their hotel rooms to welcome in and listen to the age-old bells of the surrounding churches and cathedrals. Very interesting!

Thank you for your consideration!

Vangie and Paul Maynard
3712 Via Cardelina
Palos Verdes Estates, CA 90274-1181
Tel: 310-378-3049
Fax: 310-378-2705

Leza Mikhail

From: Greg Pfof [gregp@rpv.com]
Sent: Monday, August 18, 2008 4:16 PM
To: 'Ray BARTHEL'; pc@rpv.com
Cc: 'Leza Mikhail'
Subject: RE: St. John Fisher Building Program

Mr. Barthel-

Thank you for your email – it will be given to the Planning Commission.

Sincerely,

Gregory Pfof, AICP

Deputy Planning Director

City of Rancho Palos Verdes

30940 Hawthorne Blvd.

Rancho Palos Verdes, CA 90275

(310) 544-5228

From: Ray BARTHEL [mailto:rtbarthel@msn.com]
Sent: Monday, August 18, 2008 3:44 PM
To: pc@rpv.com
Subject: St. John Fisher Building Program

TO: Planning Commission

This letter is written in support of the Church's desire to build a new church building on the current St. John Fisher church property and to request that the church be given approval to proceed with the plans submitted.

Before commenting on the building program, let me first state that I was not originally in support of committing to funding for a new church. My sentiments were that we had a church all these years (I have lived on the Peninsular since 1970) which functioned perfectly well in serving the needs of the church and its parishoners. Thus why spend the money it would take to create another building in which to worship. However, after realizing that the majority favored the building of a new church, which would also provide improved amenities, I became a donor to the development of this new facility and the benefits that would be derive for the church community, especially the children and coming generations.

Now, as a supporter, I do not understand the resistance being levied against what can only be labeled as property improvement. It would seem to me that to have an architecturally pleasing structure with well landscaped grounds, that serves the Lord and the wishes of His followers, should not be confronted with negative responses. Furthermore, how can anyone be apposed to the melodic sounds of a churches bells commemorating its observance of the Lord's presence. Bells of this order have been sounded for centuries in all corners of the world without objection. I mean, we are not talking about a loud and obtrusive siren or honking sounds that even I would find objectionable.

I am hard pressed to understand the objections that you are hearing from some in the churches

surrounding area. What are they really based on? Are those in objection truly against the development or to the principles that it serves. I would hope that it is not the secular and shallowness of belief that is causing this descent and I trust that the Commission will act in a Christian manner, and in the best interest of the majority, in making its decision.

Thank you for reviewing my thoughts and concerns.

Respectfully,
Raymond J. Barthel

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Tuesday, August 19, 2008 11:34 AM
To: 'Leza Mikhail'
Subject: FW: St. John Fisher Building Program

From: Ray BARTHEL [mailto:rtbarthel@msn.com]
Sent: Monday, August 18, 2008 3:44 PM
To: pc@rpv.com
Subject: St. John Fisher Building Program

TO: Planning Commission

This letter is written in support of the Church's desire to build a new church building on the current St. John Fisher church property and to request that the church be given approval to proceed with the plans submitted.

Before commenting on the building program, let me first state that I was not originally in support of committing to funding for a new church. My sentiments were that we had a church all these years (I have lived on the Peninsular since 1970) which functioned perfectly well in serving the needs of the church and its parishoners. Thus why spend the money it would take to create another building in which to worship. However, after realizing that the majority favored the building of a new church, which would also provide improved amenities, I became a donor to the development of this new facility and the benefits that would be derive for the church community, especially the children and coming generations.

Now, as a supporter, I do not understand the resistance being levied against what can only be labeled as property improvement. It would seem to me that to have an architecturally pleasing structure with well landscaped grounds, that serves the Lord and the wishes of His followers, should not be confronted with negative responses. Furthermore, how can anyone be apposed to the melodic sounds of a churches bells commemorating its observance of the Lord's presence. Bells of this order have been sounded for centuries in all corners of the world without objection. I mean, we are not talking about a loud and obtrusive siren or honking sounds that even I would find objectionable.

I am hard pressed to understand the objections that you are hearing from some in the churches surrounding area. What are they really based on? Are those in objection truly against the development or to the principles that it serves. I would hope that it is not the secular and shallowness of belief that is causing this descent and I trust that the Commission will act in a Christian manner, and in the best interest of the majority, in making its decision.

Thank you for reviewing my thoughts and concerns.

Respectfully,
Raymond J. Barthel

RECEIVED

AUG 05 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

August 4, 2008
Rancho Palos Verdes Planning Commission

Ms. Lena Mikhail,

We have been following the development process for the new Church at Saint John Fisher. It appears that the required city process has been followed, and that the project is in substantial compliance with existing codes and laws.

There are a few public objections to some perceptions for which there are no established codes or standards, specifically the questions about the "unobstructed sky views", "the casting of shadows", and the "sound of bell chimes". How can there be a legitimate challenge for something which has no accepted standard or ordinance? It is ludicrous to suggest non compliance for something which has no established benchmark.

There is a great misperception about parking. I have attended Sunday Mass at St. John Fisher since 1979, including Holy Days, Easter, and Christmas. There has NEVER been a time when I could not find a parking space! Absolutely never. If in the future attendance increases, the Mass schedule could be adjusted to balance out the flow.

On two occasions each year, worshipers flock to the Church. These visitors may park on the public streets. So some neighboring streets may have a few cars parked in front of their house for just a few hours. So what's the problem? What's the hardship claimed? Honestly I can't imagine how this could be considered a substantial negative impact. How is this any different than their neighbors having a party, and the guests parking there while visiting? This is obvious to me as I live directly across the street from the Church.

Lastly, as you consider all the public input on this application, it would be unjust, and just not fair, to end up with a Church that was designed by those opposed to it.

Please, in your deliberations, apply the approved standards and codes, and not be influenced by threat of a law suit from the vocal minority opponents.

Thanks for listening,

Donald Wynn

9 MEZA LANE

RANCHO PALOS VERDES, CA 90275

RECEIVED

AUG 08 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

To: *Leza Mikhail Associate
Rancho Palos Verdes Planning Commission
30940 Hawthorne Blvd
RPV CA 90275-5391*

From: *The Silvino Family*

Date: *August 6, 2008*

We are writing to express our concern regarding the opposition to the St. John Fisher "building project".

In early 1960 we moved to the Palos Verdes area so our children could attend St. John Fisher School. Prior to the building of the school and church, we attended Mass at St. Lawrence Martyr Church and Marymount Chapel. We waited patiently to be able to attend services in our own parish.

We learned that for a variety of reasons, Holy Mass and other services would be held in a temporary building which originally was meant as an annex or "Church Hall". There were hopes and dreams that in due time we would have a beautiful church as well as activity rooms for youth gatherings, business meetings and other parish activities. It has been a very long wait and in for us. The "wait" period is close to 50 years.

St. John Fisher Church has a very special place in the hearts of everyone in our family (Wetherell, Flanigan, Silvino) Our children were baptized, confirmed, married in our church and one of our beloved's funeral Mass was held there. It holds many memories for us both joyful and sad,

We have driven back and forth on Crest Road in sunshine, rain, fog and at no time have we encountered heavy traffic or any kind of problems in transit. Everyone has entered and exited safely from the parking lot. As expected, Christmas and Easter services are heavily attended but volunteer parishioners have directed and controlled ingress and egress effectively.

When the building plan was put forth to us, we were delighted. It was a dream come true. We spend an hour every Friday morning in the Eucharistic Chapel which is actually in the back of the church. It is very difficult to have a contemplative hour there because of the activity and service preparations occurring in the other section of the church. So we were happy to view the building plans and learn that there would be a more secluded area where one could concentrate in prayer and devotion in a small, quiet chapel.

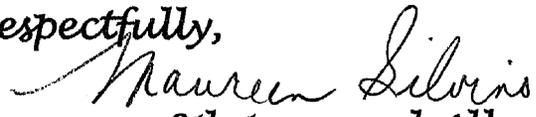
We believe that St. John Fisher has been a good neighbor for these many years. We fail to understand why a bell tower which is architecturally pleasing to the eye and does not interfere with anyone's view could be offensive to

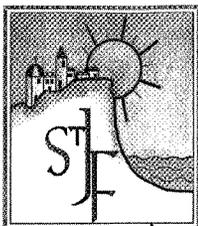
anyone in the neighborhood. Many times we have been in the vicinity of the Palos Verdes Bay Club which is adjacent to St. Peter by the Sea Presbyterian Church (6410 Palos Verdes Drive South) and heard the lovely sound of their bell chimes. We noticed that many nearby workers pause a moment and listen and smile. Perhaps it is because the melodious sound of the chimes gave them some pleasure or perhaps a sense of peace in their work day. How can the people objecting think of the chimes as noise pollution.

We beg you to give careful thought and consideration to the St. John Fisher Building Project. We understand and respect the responsibility on the shoulders of Rancho Palos Verdes City Planning Commission to the neighbors surrounding our parish. May we remind you that a great number of our church members are also loyal residents, citizens and taxpayers of the City of Rancho Palos Verdes.

It has been a very long wait to finally have our hopes and dreams of a beautiful church finally come to fruition and of course we hoped it would be in our lifetime. We are prayerful and optimistic that you will approve the plan for St. John Fisher.

Respectfully,


Maureen Silvino and Albert Silvino



SAINT JOHN FISHER PARISH
"CELEBRATING LIFE IN THE LIGHT OF CHRIST"

RECEIVED

AUG 27 2008

August 23, 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear St. John Fisher neighbor,

As you may know, St John Fisher Parish is planning to build a new church and make other much needed improvements to our campus. Based on input from some neighbors and the planning commission, our architect has already revised our plans once. We would like to give you a tour of our campus, discuss the revised plans with you, solicit your input and answer your questions. We have scheduled three open sessions for this:

Saturday, September 13 at 10:00 a.m.
Sunday, September 14 at 2:00 p.m.
Wednesday, September 17 at 7:00 p.m.

We anticipate that each session will last about an hour and a half. Refreshments will be served.

All three sessions will take place in Barrett Hall, which is almost directly in the middle of the campus near the flagpole. As you descend the steps toward the parish office, Barrett Hall is the first building on your right. We will have signs to help direct you. We have ample parking on the campus.

Our parish community is tremendously excited about our building project, which has been in the planning stage since 1961, when the parish first came into existence. Through it, we hope to improve the work of our fifty-plus social service ministries, the education of our children, and the spiritual lives of our parishioners.

Please join us. RSVPs are not required, but appreciated so that we can make appropriate arrangements for refreshments. To RSVP, please contact the parish office at (310) 377-5571.

We look forward to seeing you. And if you are unable to make any of these sessions, please know that you are always welcome at St. John Fisher.

Sincerely,

Reverend Msgr. David A. Sork
Pastor

Lisa Hunt Counts, AICP
Chair, Parish Building Committee

August 25, 2008

Mr. Paul Tetreault
Planning Commission
Rancho Palos Verdes City Hall
30940 Hawthorne Bl.
Rancho Palos Verdes, CA 90275

RECEIVED

AUG 27 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Mr. Tetreault:

Attached is a copy of the letter that St. John Fisher Parish has sent to all of the homeowners within the five neighborhoods adjacent to the church regarding our proposed building plan. The letter invites them to attend one of three meetings that we will have prior to our September Planning Commission hearing. The meetings are meant to provide an opportunity for some meaningful dialogue with our neighbors about our project. We will be giving a tour of the campus, discussing our revised plans, and answering questions.

I would like to extend this invitation to you as well. I understand that your rules limit the number of commissioners or council members that can attend at any one time, so please feel free to stop by the parish at your convenience. I would be happy to show you around.

Sincerely,



Lisa Hunt Counts
Building Committee Chair

RECEIVED

AUG 27 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

August 25, 2008

Mr. Edward Ruttenberg
Planning Commission
Rancho Palos Verdes City Hall
30940 Hawthorne Bl.
Rancho Palos Verdes, CA 90275

Dear Mr. Ruttenberg:

Attached is a copy of the letter that St. John Fisher Parish has sent to all of the homeowners within the five neighborhoods adjacent to the church regarding our proposed building plan. The letter invites them to attend one of three meetings that we will have prior to our September Planning Commission hearing. The meetings are meant to provide an opportunity for some meaningful dialogue with our neighbors about our project. We will be giving a tour of the campus, discussing our revised plans, and answering questions.

I would like to extend this invitation to you as well. I understand that your rules limit the number of commissioners or council members that can attend at any one time, so please feel free to stop by the parish at your convenience. I would be happy to show you around.

Sincerely,



Lisa Hunt Counts
Building Committee Chair

August 25, 2008

Mr. Dave Tomblin
Planning Commission
30940 Hawthorne Bl.
Rancho Palos Verdes City Hall
Rancho Palos Verdes, CA 90275

RECEIVED

AUG 27 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Mr. Tomblin:

Attached is a copy of the letter that St. John Fisher Parish has sent to all of the homeowners within the five neighborhoods adjacent to the church regarding our proposed building plan. The letter invites them to attend one of three meetings that we will have prior to our September Planning Commission hearing. The meetings are meant to provide an opportunity for some meaningful dialogue with our neighbors about our project. We will be giving a tour of the campus, discussing our revised plans, and answering questions.

I would like to extend this invitation to you as well. I understand that your rules limit the number of commissioners or council members that can attend at any one time, so please feel free to stop by the parish at your convenience. I would be happy to show you around.

Sincerely,



Lisa Hunt Counts
Building Committee Chair

August 25, 2008

Mr. Jim Knight
Planning Commission
5 Cinammon Lane
Rancho Palos Verdes, CA 90274

Dear Mr. Knight:

Attached is a copy of the letter that St. John Fisher Parish has sent to all of the homeowners within the five neighborhoods adjacent to the church regarding our proposed building plan. The letter invites them to attend one of three meetings that we will have prior to our September Planning Commission hearing. The meetings are meant to provide an opportunity for some meaningful dialogue with our neighbors about our project. We will be giving a tour of the campus, discussing our revised plans, and answering questions.

I would like to extend this invitation to you as well. I understand that your rules limit the number of commissioners or council members that can attend at any one time, so please feel free to stop by the parish at your convenience. I would be happy to show you around.

Sincerely,

A handwritten signature in black ink, appearing to read "Lisa Hunt Counts", with a large, decorative flourish at the end.

Lisa Hunt Counts
Building Committee Chair

ADDITIONAL PUBLIC CORRESPONDENCE (Pre-prepared Binder)

**JULY 22, 2008 LATE
CORRESPONDENCE
(Planning Commission)**

#2

Marsha Zents

From: Joel Rojas [joelr@rpv.com]
Sent: Tuesday, July 22, 2008 12:13 PM
To: 'Leza Mikhail'
Cc: 'Marsha Zents'
Subject: FW: St. John Fisher Parish Church Plans

Attachments: Plans for New Church.cwk (WP).pdf



Plans for New
Church.cwk (WP)....

-----Original Message-----

From: Mary Sheridan [mailto:maryvsher@yahoo.com]
Sent: Tuesday, July 22, 2008 12:00 PM
To: pc@rpv.com
Subject: St. John Fisher Parish Church Plans

To Planning Commission:

I support the plans for St. John Fisher's new church. Attached is my letter urging approval.

Mary V. Sheridan
21 Sweetbay Rd.
Rancho Palos Verdes

**Mary V. Sheridan
21 Sweetbay Rd.
Rancho Palos Verdes, CA 90275**

July 22,2008

Leza Mikhail
Associate Planner
City of Rancho Palos Verdes
Rancho Palos Verdes, CA 90275

Dear Ms. Mikhail,

I am writing regarding the plans for St. John Fisher Parish's new church. I support the plans, and urge the members of the Planning Commission to approve the project.

At the last planning commission meeting the ringing of bells was discussed. My husband and I have lived in Portuguese Bend above the Wayfarer's Chapel for the past 34 years. During this time occasionally, when outside, we have heard the carillon bells of Wayfarer's Chapel ring. Recently, I called the church to inquire what the policy is regarding the carillon. I was told that the "Westminister Chimes" and hours are tolled from 9 a.m. to 9 p.m. Also, on Christmas Eve "Silent Night" is played, and after a wedding, peals called the "Change Ringing" are rung.

We have always loved hearing the soft musical sound of the bells from Wayfarer's Chapel, and expect the Planning Commission to give equal approval to bells in the new church of St. John Fisher Parish.

Sincerely,

Mary V. Sheridan

#2

EduardoS

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, July 21, 2008 5:36 PM
To: 'EduardoS'
Cc: 'Leza Mikhail'
Subject: FW: St. John Fisher Catholic Church issue for Tuesday meeting -Request for continuancw

-----Original Message-----

From: Elizabeth Martyn [mailto:martyn@lbbslaw.com]
Sent: Monday, July 21, 2008 4:14 PM
To: PC@RPV.com
Cc: clynch@rwglaw.com
Subject: St. John Fisher Catholic Church issue for Tuesday meeting -Request for continuancw

Attached is a letter provided to the City last week for distribution to you. It was our understanding that this would be distributed to you when we provided it, but I received a voice mail from Mr. Rojas indicating that it was not, and that I needed to email it to you.

Just to update you, the issues regarding the continuance for surrounding homeowners are: no bells, smaller church and tower, no columbarium, and city controls on noise, traffic etc.

Mr. Weissman only received the documents due on July 25 this afternoon and, therefore, has had no ability to review them.

We understand that the Planning staff is recommending a continuance after additional testimony and your direction. We ask that you grant that and include our issues in those to be reviewed during the continuance period.

Betsy Martyn, Partner
Lewis Brisbois Bisgaard & Smith
(714) 966-3131

#2

Leza Mikhail
Associate Planner
Rancho Palos Verdes Building & Code Enforcement

RECEIVED
JUL 21 2008
PLANNING, BUILDING AND
CODE ENFORCEMENT

Re: St . John Fisher Catholic Church Master Plan
Case No. ZON2007-00492 and the redesign of the project

Leza:

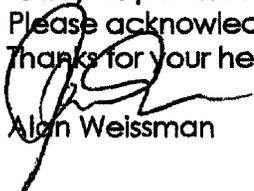
Attached is a formal request for documents pursuant to the California Public Records Act.

Please let me know when the requested documents are completed and I will pay for the copies at the statutory rates.

I will also be at the city hall and the planning and building department with a check ready to pick up the documents that I had previously requested that are ready as per the Assistant City Attorney.

Please acknowledge receipt of this email.

Thanks for your help


Alan Weissman

Joel Rojas, AICP
Director of Planning, Building and Code Enforcement
Leza Mikhail, Associate Planner City of Rancho Palos Verdes
3040 Hawthorne Blvd.
Rancho Palos Verdes, Ca

Re: St. John Fisher Catholic Church Master Plan Project
Case No. ZON2007-00492 Including the documents and emails relating to the redesign of the building and adjacent properties

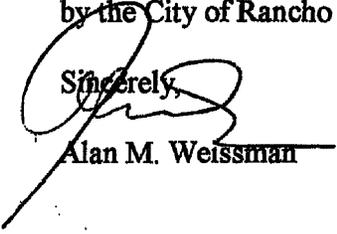
Dear Mr. Rojas & Ms Mikhail:

In regards to the application for case no. ZON2007-00492 (The St. John Fisher Church Master Plan Project and the redesign), I would like to request copies of all emails between staff, emails with the Planning Commissioners, any staff notes taken and emails with/from the applicant, **including all emails from the personal email addresses of the planning commissioners, the building department personnel and the members of the church, their building committee and the Monsignor** . Accordingly, pursuant to the *California Public Records Act*, , I formally request a complete copies of all emails and letters and any other form of notes or records within the City of Rancho Palos Verdes file on the St. John Fisher Master Plan, case no. ZON2007-00492. (This project was agenda item number 5 during the Planning Commission meeting held on June 24, 2008 and continued until July 22, 2008. Pursuant to the *Public Records Act*, the city must respond to this request within ten (10) days and I hereby demand a written response within that time frame. I am prepared to pay any statutory fees (copying costs) set by the Legislature, which does not include search, review or deletion charges. Pursuant to the act, if only partial production is provided, the city must justify the withholding of all records withheld.

I also request a list of documents being withheld from this request and the reason it is being withheld.

Please acknowledge receipt of this email and its attached request for documents to be produced by the City of Rancho Palos Verdes within the statutory time frame.

Sincerely,


Alan M. Weissman

#2

EduardoS

From: Joel Rojas [joelr@rpv.com]
Sent: Monday, July 21, 2008 8:15 AM
To: 'EduardoS'
Cc: 'Leza Mikhail'
Subject: FW: Case No. ZON2007-00492 (St John Fisher)

-----Original Message-----

From: R MUCHA [mailto:patnbob1@cox.net]
Sent: Sunday, July 20, 2008 2:50 PM
To: PC@RPV.COM
Subject: Case No. ZON2007-00492 (St John Fisher)

Last month, St John Fisher (SJF) was told to shorten its proposed steeple, first by the City Staff, then by neighbors, and finally by the Planning Commission.

During the June 24 hearing process, neither Staff nor the Commission identified or mentioned a City requirement which supports this action. Doing so could have modified the negative reaction from neighbors.

In the SJF letter dated July 9, 2008 to the RPV Planning Department, the ".absence of a skyline or ridgeline ordinance." was stated.

The SJF concessions numbers 6 thru 11, modifying the church structure, are based on a commendable goal of ".a positive relationship with the surrounding residents."

If there are any City requirements, regulations, or ordinances supporting any reduction in steeple height, City Staff has a responsibility to clarify them at the beginning of the July 22, hearing.

Respectfully Submitted,
Robert Mucha

#2

Leza Mikhail

From: Sjf5448@aol.com
Sent: Tuesday, July 15, 2008 11:40 AM
To: lezam@rpv.com
Subject: St. John Fisher Church Buliding Committee

Dear Liza,

I am a parishioner of St. John Fisher Church and I am writing you to let the Commisioners of the Building Committee know that I am in favor of building the New Catholic Church of Rancho Palos Verdes.

After attending the June 24th hearing until the wee hours of the morning of June 25th, I was amazed at all the residents who were not in favor of the renovations of St. John Fisher Catholic Church.

All my life, I have been a Catholic and I believe that the Church that was established by Jesus Christ on earth should be a light unto the world. According to St. Matthew, a city set on a hill cannot be hidden and I believe this city to be representative of St. John Fisher Parish. It also means that the Church is a visible organization, clearly identified as such and distinguished from other churches. This was affirmed by one of the commissioners opinion on the subject of Church last June 24th. Jesus also promised, "I will build my Church and the gates of hell will not prevail against it (Matthew 16:18)."

These passages came about while I was in prayer in the Blessed Sacrament Chapel of St. John Fisher Church in Rancho Palos Verdes.

Yours truthfully,

Emma Bulala
Parishioner

Get the scoop on last night's hottest shows and the live music scene in your area - Check out TourTracker.com!

#2

Leza Mikhail

From: golong888@aol.com
Sent: Tuesday, July 15, 2008 4:25 PM
To: lezam@rpv.com; golong888@aol.com
Subject: continuance and delay of July 22, 2008 meeting

City of Rancho Palos Verdes
Director of Planning, Building and Code Enforcement
30940 Hawthorne Blvd.
Rancho Palos Verdes, California 90274
Attn: Director of Planning and Zoning and Ms Leza Michail

Dear Director of Planning and Ms Leza Michail,

May I ask why there were no new silhouettes put up for the revised plans regarding the propose St John Fisher building? Because of this, please delay and put a "continuance" on your July 22, 2008 meeting regarding the proposed St John Fisher building until all residents in the surrounding area can view and understand the impact and significance of such a massive, towering structure in their neighborhood.

Thanks you,
Gary Long

The Famous, the Infamous, the Lame - in your browser. [Get the TMZ Toolbar Now!](#)

#2

Leza Mikhail

From: M J Riccio [mriccio127@cox.net]
Sent: Thursday, July 17, 2008 7:22 PM
To: LezaM@rpv.com
Subject: In favor of St John Fisher building project

Dear Ms Mikhail,

As a planning staff member, please remember there are over 5,000 families at St John Fisher, many of whom are RPV residents. Hundreds of us have committed substantial time to the lengthy design options process to arrive at this point, not to mention substantial monetary pledges.

We hope you understand a house of worship, or any building in which the public gathers, should be substantial and inspiring. The symbolism of spires and bells are endemic to the spiritual nature of a church. Surely this can be understood in a state which values its remaining missions.

Following testimony at the first public hearing last month, the SJF building committee and architect have addressed the Commission's requests as follows:

- * The height and width of the tower AND the main building have been reduced.
- * The building is further from the property line and masked by landscaping.
- * The distance of the carillon speaker from the property line has been doubled.
- * Parking further explained in a narrative in the revised design package.

The following points were previously communicated by us for your earlier public hearing.

- * This site is a perfect location for a church building.
Only a few hundred feet from existing facility.
Main road with virtually no traffic penetration into residential neighborhoods.
- * Views are not impacted.
There is much open space in both directions around the Crest/Crenshaw intersection.
Most residences are below the line of sight.
- * No increased traffic.
This is an existing, very active congregation.
Minor change in number of seats inside, parking outside.
Services are spread out through the day (and will not change), reducing peak loads.
Most of the kids coming to the added pre school are likely to come in the same car with other school children: same family or car-pooling.
- * This church community is a good neighbor.
And has been for decades.

We trust you can find a way to make this work for all.

Thanks,
Michael J. Riccio
& Family

#2

EduardoS

From: Joel Rojas [joelr@rpv.com]
Sent: Thursday, July 17, 2008 3:47 PM
To: 'EduardoS'
Subject: FW: St. John Fisher (SJF) Church Building Proposal: Parking

From: John Traxler [mailto:j.trax5@verizon.net]
Sent: Thursday, July 17, 2008 3:46 PM
To: Leze Mikhail; Edward Ruttenberg; Paul Tetreault
Subject: St. John Fisher (SJF) Church Building Proposal: Parking

To: RPV Planning Commission

From the beginning the argument for a new, larger church presented by SJF has been based on postulations, viz.: a reduction of clergy-numbers; a corresponding reduction in number of scheduled weekend liturgies; and a corresponding *increase* in parishioner attendance at scheduled liturgies. Therefore, SJF needs a larger church.

This argument is fallacious because it is *very* unlikely that SJF will ever be without the services of sufficient numbers of assigned and visiting clergy.

In light of its postulations, SJF's estimates of the number of required parking spaces for a new church based on present day Sunday-peak-use statistics is also clearly fallacious.

Respectfully,

John Traxler
4172 Rousseau Lane
PVP, CA 90274

#2

July 16, 2008

To the members of the Planning Commission of RPV and Joel Rojas:

Following the extended June 24th meeting at Hesse Park, I came home at 1:40am in the early morning feeling like there were more parishners given the chance to speak in favor of the proposed Saint John Fisher sanctuary building than to those surrounding residents of the proposed construction opposing the project. Of the 94 speakers on the agenda, many homeowners had to leave before being called up to speak, and were unable to voice their opposition to the SJF building plan.

With little time to react to the silhouette and balloons of SJF, many homeowners were not aware of what is being proposed. SJF parishners, meanwhile, have been donating to this large funded project without ever having the intention to involve any dialogue with its surrounding neighbors.

For those parishners, many who do not even live within walking distance of the church and live in other cities as PVE, who state they "like" the idea of the proposed property on the corner of their nine and more acre property to have the "most impact" and "imposing nature (with bells chiming throughout the day, seven days a week, as well as during an additional two hundred weddings and funerals, and high holy days)"——(1)THEY, unlike us neighbors who live across the street, won't have to listen to the incessant, nonstop ringing of the bells, seven days a week for one minute durations. (Again, I overheard Mon. Sork's sermon at 9am Tuesday of this week from my bedroom! Doesn't the church believe in soundproofing? Or is it an arrogant calling to amplify the sermons into the neighborhood?! I shudder to think about the ramifications that will ensue if this proposed project is approved) (2)These parishners will not have to deal with their skyline of blue being blotted out by a fifty-foot sanctuary and eighty-eight foot bell tower ringing endlessly for one minute durations seven days a week. (3)They will not have their privacy taken away from them with this multi-storied self-centered imposed building. Our backyards without question will be easily looked into from this corner proposed building. (4)The parishners will not have to listen to the traffic and parking annoyances along Crenshaw Blvd. Our family will! Our bedrooms are within five feet of the sidewalk at the corner of Crest and Crenshaw. (5)This corner flag lot property in Island View is unsecured. Because of the proposed SJF stairways opening onto that corner, crime will become more accessible because of constant, additional parking along Crenshaw. At present, parishners enter and park on the SJF property.

The present church sanctuary is behind landscaping, blending into the rural atmosphere of this quiet, tranquil neighborhood. Let SJF build a gym for the children, but please, don't use the children for an excuse to build such a tall, massive in-your-face imposing structure for the community to cope with. Build the sanctuary without a bell tower somewhere inside the nine acre property for its own parishners and without the stairs to the corner. Don't impose on the community!

Commissioners, please consider what we neighbors would have to contend with daily, 365 days a year, if you approve this project. It would be sad to live with the incessant traffic, noise, parking, lack of privacy, and security problems caused by the proposed Saint John Fisher Church building.

Sincerely,

Rhonda Long

#2

Leza Mikhail

From: gitwon@aol.com
Sent: Thursday, July 17, 2008 12:39 AM
To: lezam@rpv.com
Subject: letter in opposition to SJF for 7-22-08 agenda

July 16, 2008

To the members of the Planning Commission of RPV and Joel Rojas:

Following the extended June 24th meeting at Hesse Park, I came home at 1:40am in the early morning feeling like there were more parishners given the chance to speak in favor of the proposed Saint John Fisher sanctuary building than to those surrounding residents of the proposed construction **opposing** the project. Of the 94 speakers on the agenda, many 20 homeowners had to leave before being called up to speak, and were unable to voice their opposition to the SJF building plan.

With little time to react to the silhouette and balloons of SJF, many homeowners were not aware of what is being proposed. SJF parishners, meanwhile, have been donating to this large funded project without ever having the intention to involve any dialogue with its surrounding neighbors.

For those parishners, many who do not even live within walking distance of the church and live in other cities as PVE, who state they "like" the idea of the proposed property on the corner of their nine and more acre property to have the "most impact" and "imposing nature (with bells chiming throughout the day, seven days a week, as well as during an additional two hundred weddings and funerals, and high holy days)"-----**(1)** THEY, unlike us neighbors who live across the street, **won't** have to listen to the incessant, nonstop ringing of the bells, seven days a week for one minute durations. (Again, I overheard Mon. Sork's sermon at 9am Tuesday of this week from my bedroom! Doesn't the church believe in soundproofing? Or is it an arrogant calling to amplify the sermons into the neighborhood?! I shudder to think about the ramifications that will ensue if this proposed project is approved) **(2)** These parishners will not have to deal with their skyline of blue being blotted out by a fifty-foot sanctuary and eighty-eight foot bell tower ringing endlessly for one minute durations seven days a week. **(3)** They will not have their privacy taken away from them with this multi-storied self-centered imposed building. Our backyards without question will be easily looked into from this corner proposed building. **(4)** The parishners will not have to listen to the traffic and parking annoyances along Crenshaw Blvd. Our family will! Our bedrooms are within five feet of the sidewalk at the corner of Crest and Crenshaw. **(5)** This corner flag lot property in Island View is unsecured. Because of the proposed SJF stairways opening onto that corner, crime will become more accessible because of constant, additional parking along Crenshaw. At present, parishners enter and park on the SJF property.

The church sanctuary is behind landscaping, blending into the rural atmosphere of this quiet, tranquil neighborhood. Let SJF build a gym for the children, **but please, don't use the children for an excuse** to build such a tall, massive in-your-face imposing structure for the community to cope with. Build the sanctuary without a bell tower somewhere **inside** the nine acre property for its own parishners. Don't impose on the community!

Commissioners, please consider what we neighbors would have to contend with daily, 365 days a year, if you approve this project. It would be sad to live with the incessant traffic, noise, parking, lack of privacy, and security problems caused by the proposed Saint John Fisher Church building.

Sincerely,

Rhonda Long

7/17/2008

#2

Leza Mikhail

From: Anthony Lubega [anthonylubega@gmail.com]
Sent: Wednesday, July 16, 2008 11:57 PM
To: lezam@rpv.com
Subject: Saint John Fisher Church

Associate Planner, Rancho Palos Verdes Planning Commission.
Dear Leza Mikhail,

I should very much like to express my support for the St. John Fisher Master Plan. The new church will look absolutely beautiful. The sanctuary design is exalting and graceful, the structure, forms and spaces are elegant and the architecture is aesthetically pleasing.

I have been actively involved in the master plan and design during the long and countless town hall meetings with our liturgical consultant, urban planners, architect, building experts and fellow parishioners. I was very passionate that the architects design a beautiful structure to make our parish and Rancho Palos Verdes proud. The new church will pave way for a much needed Parish Activity Center that will benefit the SJF parish especially our youth.

In response to the planning commission recommendations, the revised plans have carefully responded to the neighbor's concerns as instructed by the planning commissioners. I was very disappointed at your recommendation to lower the steeple. The steeple is the pivot and culminates at the Blessed Sacrament chapel. It's height provides the proportions that form an elegant structure. It is unfortunate that it has to be lowered.

I was present at the SJF Master Plan public hearing in June and I plan to be present at the public hearing scheduled on July, 22 2008.

Please feel free to contact me for further comments.

Thank you,

Anthony Lubega
RHE resident.

#2

Leza Mikhail

From: L. Bilski [ldb910@juno.com]
Sent: Tuesday, July 22, 2008 1:54 PM
To: pc@rpv.com
Cc: joelr@rpv.com
Subject: 7/22/08 Agenda Item: St. John Fisher building project

Dear RPV Planning Commission Chair Perestam and P.C .Members,

I am writing in support of the proposed St. John Fisher building project.

There have been a lot a false statements about this project in letters submitted to the city and to the local newspaper. This is unfortunate, but I trust the the members of the Planning Commission realize the errors and disregard them.

The church property has been developed since 1963. At that time a structure was erected with plans for an eventual large Church at the corner of the lot. The surrounding residential properties were developed and sold long after the Church and School had been built.

The proposed church building is a beautiful, stately design and meets the city's development codes and regulations. As presented at the June P.C. meeting, the staff report stated that the project met all the requirements, and could be approved. If anything, the building project will enhance the area as well as better serve the needs of St. John Fisher Parish.

As stated in the Staff Report, a Bell Tower was approved in the 1990's by the RPV Planning Commission along with other construction permits for renovation of the property; but the tower was not built due to lack of funds at the time. The proposed Bell Tower will provide occasional musical chimes. " Music" not "noise" as some have mistakenly called it. Aesthetically pleasing sounds, "inspirational", not nuisance noise. I'm sure we would all agree that the sound of emergency vehicles' sirens and the noise of hedge trimmers, leaf blowers and saws is truly a noisy disturbance. Brief musical chiming is not.

Anyway, RPV has no noise ordinance.

Wayfarers' Chapel has a clock chiming the hours and quarter-hours, St. Peter's by the Sea has a bell tower which rises many feet above the church's ridge line. Both churches are surrounded by residential homes. Outside of RPV, other churches in residential neighborhoods have tall bell towers which chime.

The nearby residential properties near the current Church and rectory, have massive hedges and trees which now block the view of their houses and yards from the Church property and vice versa. The views of the church property is obscured from houses across the street on Crenshaw. The claims of invasion of privacy by this project appear unfounded.

While a few people may not like this proposed development, the staff has told us that a property owner has a right to develop their property within the codes and regulations of the City of RPV. Even though the project as proposed in June could have been approved as presented, that project - which serves a parish of 3,000 families - was revised and downsized to answer the concerns of a few people. Therefore,

in all fairness, since the neighborhood concerns and commissioners' concerns have been addressed by the revision, the development should be permitted to proceed without further changes.

Please vote tonight to approve the St. John Fisher building project.

Thank you for all you do for RPV !

Sincerely,

Lenée Bilski,

RPV resident

[Stuck in a dead end job?? Click to start living your dreams by earning an online degree.](#)

#2

Leza Mikhail

From: Tom Coull [coullone@cox.net]
Sent: Sunday, July 20, 2008 1:41 PM
To: lezam@rpv.com
Cc: docblond@aol.com
Subject: John Fisher Project

July 20, 2008

Rancho Palos Verdes Planning Commission

Subject: Proposed Construction of St. John Fisher Property

To Planning Commission Members:

Over the past several weeks I have been made aware of a new proposed construction program on the site of the St. John Fisher property. This project seems to be well into the final stages of approval while a majority of neighbors, who should have been made aware of this project at its inception, were not notified of such activity. This project, I am sure, went through several design and style iterations before the design that has been presented to date. This means that this project has been in the hands of the planning department for, I guess, over a year, based on my experience with projects that I have been involved with in the past. Failure of the planning department to make proper notification to the affected community is a breakdown of normal procedures and is a reflection on the overall management of Rancho Palos Verdes and a lack of oversight on the planning department activities.

Now to address some of the issues that is of concern:

Ingress and egress of materials and excavation products

Traffic

Parking

Noise

Sun Angle Studies

Neighborhood Compatibility

I do not wish to address all of the items listed above; however, I look forward to seeing all of the issues, and more, being addressed by the planning department.

e.g.

1. on the subject of materials being removed from the excavation site: vehicles of three (3) tons or more cannot use Crenshaw Boulevard if egressing the Palos Verdes Peninsula. They will have to egress on Hawthorne Boulevard (an escape lane available on this street). I would like to see what traffic flow has been addressed on this issue.
2. It is my understanding that one of the reasons given for a new building is to accommodate more people while there is a reduction in the number of parking spaces. Fewer services and more people is a sure way of increasing the number of automobiles on the street and traffic congestion. I am also curious as to why there is a need for a larger facility as the parish administrator indicated so many empty spaces in

7/22/2008

the parking lot during all of the services he observed in the month of May. This information is meaningless as three samples is not a large enough population to have any statistical meaning.

3. The design of this facility is neither compatible and bares any relationship to the neighborhood. A design that is compatible with the buildings that exist on the property today and those of the surrounding neighborhood structures be more neighborhood compatible. A facility that does not extend beyond the height of the existing trees, as now exists, would have little or no impact on the community vistas and have no impact on sun angles that exist today.
4. There seems to be a number of mitigated issues that that are significant that have fallen into the acceptable zone for the planning department that need to be addressed, such as, scenic vista, degrade of the existing visual character and day or nighttime views, all of which are potentially significant and need to be addressed. Other issues are the geological qualities of the site that have not been addressed but appear to have been mitigated.

In general, those speakers that come before the commission should be made to identify where they reside and whether they are members of the parish. This is important for the commission to truly evaluate comments and rule out personal unrelated biases that have no impact on their surroundings.

In conclusion, I would hope that all of the issues that I have addressed be revisited and perhaps start with a clean slate so that all affected parties can reach a mutually accepted design that is compatible with the neighborhood. This, I believe, would have happened if all of the affected parties were notified in the proper manner from the start.

Sincerely,

Tom Coull

IVHOA Resident.

#2

Leza Mikhail

From: Joel Rojas [joelr@rpv.com]
Sent: Tuesday, July 15, 2008 8:08 AM
To: 'Leza Mikhail'
Cc: 'EduardoS'; 'Marsha Zents'
Subject: FW: St. John Fisher Project

-----Original Message-----

From: Lisa Counts [mailto:lhuntcounts@aol.com]
Sent: Monday, July 14, 2008 2:39 PM
To: pc@rpv.com
Subject: St. John Fisher Project

July 13, 2008

Dear Planning Commissioners:

I am writing in support of the St. John Fisher Master Plan and urge your prompt approval of this project.

The revised plan responds directly to the issues of height, massing, and bell noise raised by a few of the neighbors at the June hearing. At the hearing, a photograph was shown, taken from the front yard of an Island View resident, illustrating this neighbor's concern about the tower height. It is difficult for many of us to understand a building based on several red balloons off in the distance, especially in a photograph. One imagines some monolithic structure. The revised plan's photographs with the model placed inside explain the project's appearance from Island View in a way that is much easier to understand, even keeping in mind that the photographs show a white cardboard model. One can begin to see the play of light and shadow of walls and windows, the nestling of the structure among the trees, and the sculptural effect of the cross against the sky.

The revised plan lowers the tower height substantially, as well as other church roof lines, and pushes the church further off Crenshaw and the corner intersection. The perception of the building's mass, therefore, is lessened greatly. The added setback also allows for an increased landscaped buffer. The neighbors across the street will mostly see a screen of trees. The building will not block views of any homeowners.

The issue of potential bell noise has been addressed by using carillon bells that enable the church to adjust the bell volume, by the lowering of the speakers to a height 16 feet above the ground, and by the placement of the speakers on a wall face directed towards the church's gathering plaza. This carillon location greatly increases the distance of the source of sound from the neighbors, further reducing any possible noise.

I would also like to respond to comments regarding the building's appearance: "it doesn't fit in to the rural landscape of RPV, it is too modern", etc. The surrounding neighborhoods are a relatively dense mixture of styles, including ranch and colonial styles. These large tract homes most certainly are not rural in nature. Nevertheless, as stated several times at the last hearing, this building will stand out. It is a church, not a residence. It is meant to be a community landmark. It is not a hard concrete building, but a structure rich and warm with natural materials and softened by lush landscaping. Its design is the result of many months of planning involving hundreds of enthusiastic and committed parishioners.

Lastly, I would like to address parking concerns. The parking narrative and sheet AO.9 of the original plans clearly show that the proposed plan's parking needs are met. The peak time on Sunday centers around the largest mass of the morning, the 10:45 AM mass, and religious education classes that begin at 10:30 AM. Some families attend the earlier 9 AM mass and leave their children for RE class, picking them up an hour later. Other parents attend the 10:45 mass while their children are in class. In either case, children do not drive themselves to religion class. The 290 parking spaces required for the church for mass and the 38 required by code for the teachers of the 19 classrooms plus the 3 rectory spaces equals the 331 provided spaces.

Thank you for your consideration of this letter. Again, I urge your timely approval for the St. John Fisher project.

Sincerely,

Lisa Hunt Counts, AICP
4979 Silver Arrow Dr.
Rancho Palos Verdes, CA 90275

#2

Chair and Members
Planning Commission
Rancho Palos Verdes

Via Facsimile:

Re: Expansion of St John Fisher Catholic Church
Item No. 2007-00492

Dear Chair and Planning Commission members:

We have been consulted by several groups of homeowners who are very concerned about the aggressive expansion of St. John Fisher Catholic Church ("Church" or the "project"). The purpose of this letter is to request a 45-day continuance of this item to provide for discussion of disputed issues and receipt and review of documents already requested, as well as confirmation of legal representation. We have raised this requested with the City Attorney, who indicated that a continuance must be granted by the Planning Commission but that she did not anticipate a problem with such a continuance.

The concerns here focus mainly on design and environmental issues. For example, the design of the church is not in harmony with the remainder of the neighborhood and while there are alternate designs available, they have not been presented to the Planning Commission. The Church itself has presented another redesign of the silhouette. There also are height issues regarding the tower and noise issues regarding the bells. These serious concerns deserve additional time for study and discussion.

In addition, at least three of the affected property owners (Messrs. Weissman, Butler and Jackson) also have filed Public Records Act requests. One request resulted in the delivery of a number of documents. Another received a letter from the City Attorney providing that the receipt of documents has been delayed.

In addition to our request for a continuance, we also ask that this continuance be considered at the beginning of the agenda so that the residents do not have to wait (or pay their attorney to wait) until after midnight for that continuance. Thank you for your consideration.

#2

Leza Mikhail

From: Karen Craig Billnitzer [reader@verizon.net]
Sent: Friday, July 18, 2008 5:07 PM
To: lezam@rpv.com
Subject: St. John Fisher Master Plan Revisions

Dear Ms. Mikhail,

Thank you for continuing to include my husband and me in the correspondence regarding this development. We looked on the RPV website at the revisions submitted by St. John Fisher. While we were already happy with the plans as they previously stood, we note that the church has been very accommodating to all of the requests made by various neighbors and the planning commissions. We ask that the Planning Commission approve the master plan as submitted.

Kind regards,

Karen Craig
Mark Billnitzer
29719 Stonecrest Road
Rancho Palos Verdes, CA 90275

7/22/2008

301

#2

July 16, 2008

To the Planning Commission and City Staff:

The St John Fisher architect did an excellent job in making changes to the new church plans to accommodate the neighbors who have complained about the building. All problems have been addressed. The height is compatible with other churches in the neighborhood. The views certainly do not impact anyone. If anything, the new building will enhance the neighborhood with its beauty and grace. There will be no change or increase in activity at the church site.

I hope that the Planning Commission can see that this new church will be an asset to the area, and will grant permission to the St John Fisher Church to continue with their plans without further cutbacks or revisions. Changing anything more would compromise its design, beauty and, more importantly, function.

Joan Barry
30770 Ganado Drive
Rancho Palos Verdes

#2

THE REWINSKIS
2648 Via Olivera
Palos Verdes Estates, CA 90274

July 15, 2008

By e-mail

Ms. Leza Mikhail
Associate Planner
City of Rancho Palos Verdes, CA

Re: St. John Fisher Project (July 2008 Revised Proposed Design)

Dear Ms. Mikhail,

I write to encourage the Planning Commissioners to vote to approve the revised proposed design submitted by St. John Fisher. I am a member of St. John Fisher Parish and a resident of Palos Verdes. I am also a member of the St. John Fisher's building committee. Because the building committee has worked over the course of many months with parishioners, a professional liturgical design consultant, the Los Angeles Archdiocese, the Planning Department, and the architect, I believe that I can add some useful information. This letter expresses my personal opinions.

The revised plans reflect numerous concessions made in response to concerns expressed by certain neighbors in connection with the Planning Commission hearing last month. The architect has reduced the height and bulk of the new church, set it back further from the streets, and added landscaping at the corner of Crest and Crenshaw. The architect has also relocated the speaker component of the bells to reduce the noise. Although some neighbors continue to express concerns about the project, their concerns have been adequately addressed or simply cannot be addressed (because, in fact, the neighbors oppose any construction). Therefore, I urge the Commissioners to approve the project, pursuant to the revised plans, at the hearing on July 22.

I would like to address some of the specific concerns raised by neighbors. Some have expressed a concern about potential traffic problems. As noted in the traffic study, the change in traffic will be negligible. This makes sense. Although the plan includes the construction of a new church, this will simply replace the existing building currently being used as the church. It is true that the new church will be larger than the building currently being used as a church. This is not because of an anticipated influx of new parishioners. Indeed, the peninsula is already largely developed and other, well-established Catholic churches serve people living beyond Palos Verdes. We designed a slightly larger church at the instruction of the Archdiocese. The Archdiocese, in turn, has made this a requirement because the number of priests has decreased significantly in

recent decades. Because of a shortage of priests, it is anticipated that we will need to reduce the number of masses. Therefore, we have increased the seating capacity.

Some neighbors have expressed concerns about noise caused by the construction. Of course, this is a legitimate concern but not a basis for denying a property owner from building on his or her property. Certainly the City has the power to impose reasonable restrictions on the construction process to minimize inconvenience to neighbors.

A few neighbors continue to express concerns about the noise, particularly the bells. I would be surprised if the City has the authority to prevent a church from having bells in that bells are an integral part of Catholic tradition. In the final analysis the bells should cause minimal inconvenience because, as I understand it, they will be played for short durations during the day. In addition, the revised plans lower the speaker for the bells and add landscaping around the new church, which should further reduce any noise.

On the issue of noise, it is important for the commissioners and neighbors to remember that, once the project is completed, in general the noise from the site should be less than currently experienced. That is, the corner of site, at the intersection of Crest and Crenshaw, is currently used alternatively as a parking lot or a school playground, depending on the day and time. Both activities generate noise. When the project is completed, both the playground and parking lot will be moved to the interior of the lot, thereby reducing any noise from these activities experienced by the neighbors living in Island View and on Mela Lane. Also, people enter the building currently used as a church through doors that are near the Crenshaw boundary of the property across from the Island View development. This also creates noise. Once the construction is completed, people will enter the new church from a single entrance oriented to the center of the site. This change should also reduce noise experienced by neighbors. Lastly, the new church includes a Blessed Sacrament Chapel under the bell tower. In the Catholic tradition, this is a place requiring quiet, individual reflection. For that reason, this chapel is sealed off from the main worship space inside the church. Immediately outside the bell tower is a meditative walk and columbarium. This space, which abuts Crenshaw across from the Island View neighborhood, is also intended to be quiet space. Again, these design elements should reduce the level of noise experienced by neighbors. Thus, although some may hear the sound of bells, neighbors should hear less noise from cars parking, children playing, and people congregating before and after masses.

Some neighbors have asked that the height of the cross on top of the bell tower be lowered. It would be unfair for the Planning Commission to require this. The cross is at the same height as the top of Wayfarers Chapel. It would be wrong for the Planning Commission to impose a more restrictive height requirement on a Catholic church.

Some have suggested that the floor plan for the church should be flipped so that the bell tower is built on the Crest side, as opposed to the Crenshaw side, of the new church. This would create serious problems because the Blessed Sacrament Chapel, columbarium and meditative walk would be adjacent to the pre-school play yard. Given the religious purposes of these spaces, the switch is not feasible. In addition, the curved roofline and buttresses have been designed to play off of the curves in the hills surrounding the site. This important design element would be lost with the switch.

Some neighbors have expressed concerns about the size, shape and look of the proposed new church. Needless to say, no single design will please everyone and were an individual's personal tastes enough to prevent approval of a project, no building would ever be constructed in Palos Verdes. It is simply incorrect to say, however, that the design is "ultra-modern" or incompatible with the surrounding neighborhoods. On the contrary, the exterior of the church intentionally incorporates many traditional elements of church architecture, including a bell tower, elongated arched windows, and buttresses. As noted above, that the buttresses and rooflines curve up and into the bell tower to mirror the sweep of the surrounding hills. Finally, the new church will use materials including stone and woodwork that is compatible with the surrounding neighborhoods. Thus, whatever one's personal views of the design, it is wrong to claim that the church is incompatible with the area.

With all due respect, a Catholic church cannot be designed by a committee of neighbors or Planning Commissioners. This is a Catholic church, not a home or commercial building. One cannot make a Catholic church look like one of the homes on Mela Lane or in the Island View neighborhood. In designing the space, the architect had to comply with numerous requirements imposed by the Catholic Church. This was no easy feat, particularly because those requirements have changed in recent decades. For that reason, most of the Catholic churches built in the last century look very different from the churches built over the last several centuries. Every part of the St. John Fisher floor plan has meaning. For example, until the second half of the twentieth century, a Catholic Church was typically rectangular or cruciform, with the altar at one end of the building, the tabernacle in, behind or next to the altar, and the choir placed in a loft at the other end of the building. Churches typically had ornate panels behind the altar and intricate stain glass windows surrounding the space. All of these design features were dictated by the then prevailing view of worship that although the faithful gathered together at mass, mass was intended to be an intensely individual experience. The various features of traditional church architecture — windows, light (or lack of light), music emanating from some place in the rear of the space, high ceilings, the fact that one did not face any of the other faithful, etc. — all facilitated the individual's experience.

Under the current rules, which went into effect in the 1960s, mass is expected to be a communal event. Thus, the Catholic Church now requires that the altar be in the

middle of the main worship space; the faithful are supposed to face each other; the choir is supposed to be placed within the assembly; and the tabernacle is placed in the Blessed Sacrament Chapel (for individual mediation), which must be visible upon entering into the main assembly area, but should not interfere with the altar. These are just a few of the new requirements. Thus, many Catholic churches built in recent decades do not look at all like the churches built over the previous centuries. With the new requirements in mind, our architect designed the rounded floor plan for the new St. John Fisher Church. And the floor plan, in turn, drove the rounded exterior design. I mention this background to make the following point. One cannot alter the exterior design without interfering with the floor plan, which is dictated in large part by current Catholic Church rules. And, as noted above, people not versed in the requirements imposed on Catholic churches cannot design a Catholic church.

In the end, the St. John Fisher project is doing nothing other than building on existing church property, and on the very spot where the City has already determined a church may be built, a church that complies with the rules imposed on us.

The Planning Commissioners probably have experience with neighbors objecting to proposed building plans because of anxiety and fears about change. Not long ago I appeared before the Long Beach Planning Commission to speak in favor of a proposed plan by Catholic Charities (on whose board I sit) to operate a shelter for homeless men and women in a mixed commercial, residential area in Long Beach. Catholic Charities was seeking to take over the shelter, which had been opened a few years earlier over vehement neighborhood opposition. In connection with our plan to take over the shelter, forty-three people spoke at the Long Beach Planning Commission hearing. What would you expect people to say? I have to admit I was quite surprised. All but one person spoke in favor of the Catholic Charities plan to operate the shelter. The owners of the adjacent businesses supported the plan. Several nearby homeowners supported the plan. Just think about that — homeowners supporting a plan to operate a homeless shelter in their neighborhood! The reason the project received overwhelming community support was that, notwithstanding the perfectly understandable anxieties that these people had when the shelter was first opened, they realized that the shelter was professionally managed. In fact, its operation in the neighborhood was seamless. I'll bet that no one could have convinced a single one of these good people, who just a few years before had spoken so vehemently against the shelter, that in such a short time they would not only speak in favor of the project, but do so in such glowing terms. I mention this story for two reasons. First, the St. John Fisher community has retained lots of very experienced professionals to assist with this project. The project will be done well. That is half the battle. Second, although I do not doubt the sincerity of the neighbors' anxieties, they too may well speak in glowing terms about the new St. John Fisher Church once it is completed. It is certainly in everyone's interest, especially the St. John Fisher community, that this happens.

Ms. Leza Mikhail

July 16, 2008

page 5

The building committee developed the site plan after many months of meetings with parishioners, professionals and the Planning Department. The St. John Fisher community has pledged many millions of dollars to complete this project, a very real demonstration of the breadth of parishioner support. The Commissioners have listened carefully to the concerns expressed by a handful of neighbors and recommended certain changes. The plans have been revised accordingly. The concerns have been adequately addressed. Further changes cannot be made without negatively impacting the rights of the church and parishioners to create a suitable house of worship. I urge the Commissioners to vote to approve the project on July 22.

Very truly yours,



Jon L. Rewinski

#2

LEWIS BRISBOIS BISGAARD & SMITH LLP

ATTORNEYS AT LAW

650 TOWN CENTER DRIVE, SUITE 1400, COSTA MESA, CA 92626

PHONE: 714.545.9200 | FAX: 714.850.1030 | WEBSITE: www.lbbslaw.com

ELIZABETH L. MARTYN
DIRECT DIAL: 714.966.3131
E-MAIL: martyn@lbbslaw.com

July 17, 2008

FILE NO.
F023-01

		Phone Number	Fax Number
To:	Chair and Members, Planning Commission Attn: Marcia Zentz The City of Rancho Palos Verdes		310.544.5293

From: Elizabeth L. Martyn

Pages: 3 (including cover page)

Re: Expansion of St. John Fisher Catholic Church
Item No. 2007-00492

Message: Please see the attached letter with today's date.

4836-5147-0338.1

PLEASE CALL 714.545.9200, EXT. 3459 IMMEDIATELY IF THERE ARE ANY PROBLEMS WITH THIS TRANSMISSION.

The information contained in this facsimile message is intended only for the personal and confidential use of the designated recipients named above. This message may be an attorney-client communication, and as such, is privileged and confidential. If the reader of this message is not the intended recipient or an agent responsible for delivering it to the intended recipient, you are hereby notified that you have received this document in error, and that any review, dissemination, distribution, or copying of this message is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone and return the original message to us by mail. Thank you.

ATLANTA | CHICAGO | FORT LAUDERDALE | LAFAYETTE | LAS VEGAS | LOS ANGELES | NEW ORLEANS | NEW YORK
ORANGE COUNTY | PHOENIX | SACRAMENTO | SAN BERNARDINO | SAN DIEGO | SAN FRANCISCO | TAMPA | TUCSON

LEWIS BRISBOIS BISGAARD & SMITH LLP

ATTORNEYS AT LAW

650 TOWN CENTER DRIVE, SUITE 1400, COSTA MESA, CA 92626
PHONE: 714.545.9200 | FAX: 714.850.1030 | WEBSITE: www.lbbblaw.comELIZABETH L. MARTYN
DIRECT DIAL: 714.966.3131
E-MAIL: martyn@lbbblaw.com

July 17, 2008

FILE NO.
F023-01**VIA FACSIMILE**Chair and Members, Planning Commission
The City of Rancho Palos Verdes
Rancho Palos Verdes City Hall
30940 Hawthorne Boulevard
Rancho Palos Verdes, CA 90275Re: Expansion of St. John Fisher Catholic Church
Item No. 2007-00492

Dear Chair and Planning Commission Members:

We have been consulted by several groups of homeowners who are very concerned about the expansion of St. John Fisher Catholic Church ("Church" or the "project"). The purpose of this letter is to request a 45-day continuance of this item to provide for discussion of disputed issues and receipt and review of documents already requested, as well as confirmation of legal representation. We understand there is a problem with the Church's architect and that a continuance of this matter will be this September. We strongly urge you to grant that.

The concerns here focus mainly on design and environmental issues. For example, the design of the church is not in harmony with the remainder of the neighborhood and while there are alternate designs available, they have not been presented to the Planning Commission. The Church itself has presented another redesign of the silhouette. There are height issues regarding the tower and noise issues regarding the bells. These and other serious concerns deserve additional time for study and discussion.

In addition, at least three of the affected property owners (Messrs. Weissman, Butler and Jackson) also have filed Public Records Act requests. Mr. Jackson has received a large number

ATLANTA | CHICAGO | FORT LAUDERDALE | LAFAYETTE | LAS VEGAS | LOS ANGELES | NEW ORLEANS | NEW YORK
ORANGE COUNTY | PHOENIX | SACRAMENTO | SAN BERNARDINO | SAN DIEGO | SAN FRANCISCO | TAMPA | TUCSON

4835-0886-4002.1

LEWIS BRISBOIS BISGAARD & SMITH LLP

Chair and Members, Planning Commission
July 17, 2008
Page 2

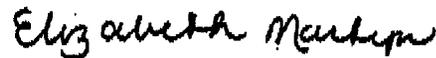
of documents and, according to the City Attorney, Mr. Weissman's request is pending. It is not fair to these residents to go forward without the chance to review relevant documents.

In addition to our request for a continuance, we also ask that this continuance be considered at the beginning of the agenda so that the residents do not have to wait (or pay their attorney to wait) until after midnight for that continuance.

Finally, we respectfully suggest that any Planning Commission members who also are church members obtain an opinion regarding potential conflicts of interest.

Thank you for your consideration.

Very truly yours,



Elizabeth L. Martyn of
LEWIS BRISBOIS BISGAARD & SMITH LLP

ELM:cjr

cc: Alan Weissman
Phil Jackson
Doug Butler
Carol Lynch, City Attorney

#2

Leza Mikhail

From: Ronald Stankey [rhrsrv2@verizon.net]
Sent: Wednesday, July 16, 2008 9:12 PM
To: lezam@rpv.com
Cc: lhuntcounts@aol.com
Subject: Saint John Fisher Revised Building Plan

Ms Leza Mikhail, Associate Planner
City of Rancho Palos Verdes

Abraham Lincoln once said, "You can please some of the people some of the time, but not all of the people all the time" Especially neighbors!.

I'm not so sure this is about pleasing some of the people or all of the people as it is about building a church that is adequate for the needs of its' worshipers and a complex that administratively will serve their community.

Certainly, there must be limitations, safety factors, and facilities including parking of automobiles that will with common sense, logistically meet the needs of those destined to use the facilities. Yes, this must include Carrillon Bells used on a limited basis.

Being a good neighbor to those who have arrived on the adjacent properties after the initial facilities were built in 1962-63 is also part of the overall venture. We fail to see how an appropriate identification sign will affect this relationship. The physical requirements and identifying structures of a church community obviously are not the same as a residential neighborhood planned for one and two story homes. A neighborhood school with all of it's facilities and attedant identification is an example of what a community must have to be all inclusive and respected.

Surely there has now been a demonstration by the St. John Fisher Parish members to help make an adjustment to the proposed facilities that will be more compatible yet serviceable to all concerned, and must be recognized forthwith.

It is now time to set understandable emotions aside and proceed in an acceptable business like manner to complete a project which a large proportion of the community needs, and has accepted as modified.

We trust the analytical members of the Planning Commission will agree, and permit this well planned project to be completed expeditiously.

Sincerely,

Ron Stankey
6940 Starstone Dr.
RPV

7/17/2008

#2

From: Ronald Stankey (rhsrpv2@verizon.net)
To: lezam@rpv.com
Date: Wednesday, July 16, 2008 9:11:49 PM
Cc: lhuntcounts@aol.com
Subject: Saint John Fisher Revised Building Plan

RECEIVED

JUL 17 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Ms Leza Mikhail, Associate Planner
City of Rancho Palos Verdes

Abraham Lincoln once said, "You can please some of the people some of the time, but not all of the people all the time" Especially neighbors!

I'm not so sure this is about pleasing some of the people or all of the people as it is about building a church that is adequate for the needs of its' worshipers and a complex that administratively will serve their community.

Certainly, there must be limitations, safety factors, and facilities including parking of automobiles that will with common sense, logistically meet the needs of those destined to use the facilities. Yes, this must include Carrillon Bells used on a limited basis.

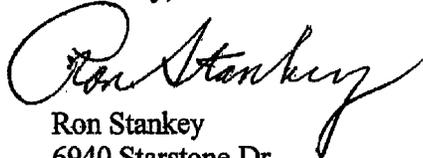
Being a good neighbor to those who have arrived on the adjacent properties after the initial facilities were built in 1962-63 is also part of the overall venture. We fail to see how an appropriate identification sign will affect this relationship. The physical requirements and identifying structures of a church community obviously are not the same as a residential neighborhood planned for one and two story homes. A neighborhood school with all of it's facilities and attedant identification is an example of what a community must have to be all inclusive and respected.

Surely there has now been a demonstration by the St. John Fisher Parish members to help make an adjustment to the proposed facilities that will be more compatible yet serviceable to all concerned, and must be recognized forthwith.

It is now time to set understandable emotions aside and proceed in an acceptable business like manner to complete a project which a large propotion of the community needs, and has accepted as modified.

We trust the analytical members of the Planning Commission will agree, and permit this well planned project to be completed expeditiously.

Sincerely,



Ron Stankey
6940 Starstone Dr.
RPV



Mr. Ronald H. Stankey
6940 Starstone Dr
Rancho Palos Verdes, CA 90275-2953

**JUNE 24, 2008 LATE
CORRESPONDENCE
(Planning Commission)**

#5

Leza Mikhail

From: M J Riccio [mriccio127@cox.net]
Sent: Monday, June 23, 2008 11:32 PM
To: LezaM@rpv.com
Subject: In favor of St John Fisher building project

Dear Ms Mikhail,

As a planning staff member, please remember there are over 5,000 families at St John Fisher, many of whom are RPV residents. Also please consider the following.

- * This site is a perfect location for a church building.
Only a few hundred feet from existing facility.
Main road with virtually no traffic penetration into residential neighborhoods.
- * Views are not impacted.
There is much open space in both directions around the Crest/Crenshaw intersection.
Most residences are below the line of sight.
- * No increased traffic.
This is an existing, very active congregation.
Minor change in number of seats inside, parking outside.
Services are spread out through the day (and will not change), reducing peak loads.
Most of the kids coming to the added pre school are likely to come in the same car with other school children: same family or car-pooling.
- * This church community is a good neighbor.
And has been for decades.

We trust you can find a way to make this work for all.

Thanks,
Michael J. Riccio
& Family

#5

Leza Mikhail

From: Patty710@aol.com
Sent: Thursday, June 19, 2008 10:34 PM
To: lezam@rpv.com
Subject: St. John Fisher Church-new church bulding

Dear Council

I would like to express my opinion about the new church building for SJF church. I support the new building; the older one is inadequate to fit the needs of the parish and the community. With the building of a new church our teens can have a place of their own for their activities, games, educational activities. Also, others in the community can use the facility.

The parishioners will have a better church building to worship and to accommodate everyone.

I think our new church we'll add beauty and function to the RPV neighborhood.

Pat Dahlberg, RN MSN, CPNP

Gas prices getting you down? Search AOL Autos for fuel-efficient [used cars](#).

#5

Leza Mikhail

From: Greg Pfof [gregp@rpv.com]
Sent: Thursday, June 19, 2008 8:27 AM
To: 'Leza Mikhail'
Subject: FW: Building project at Saint John Fisher

Sincerely,

Gregory Pfof, AICP

Deputy Planning Director
City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275
310-544-5228

From: LB101296@aol.com [mailto:LB101296@aol.com]
Sent: Wednesday, June 18, 2008 10:09 PM
To: planning@rpv.com
Subject: re: Building project at Saint John Fisher

I'm writing to offer my support for the renovation that is planned for Saint John Fisher Church.

I have been a parishioner since I was a child and now my children attend the Parish School. This renovation is long over due and it's my sincere hope that this planning committee will do everything in its power to help this improvement move forward. It saddens and worries me to imagine that "politically correct" concerns, such as the placement of a cross (at a church, no less) might be entered into this committee's consideration.

Not only does this renovation offer my faith community countless improvements to our worship space, religious education program, ministries, etc., it is offering the Parish School desperately needed upgrades. Including a new library and a preschool, which is in great demand. Additionally, new labs will enhance the educational experience of the students attending SJF.

Even further reaching, our Parish serves the community at large. Our facilities are used, at no charge, by community organizations such as Girl Scouts and Boy Scouts. With the improvements to the campus, it is expected that Saint John Fisher will have even more to offer the community.

Given all of these reasons, I hope that this committee and the City of Rancho Palos Verdes will help Saint John Fisher provide its parishioners with the quality facility it longs for, the school campus our children deserve and need, and to continue and expand what it has to offer the community at large.

Thank you.

Respectfully,

Lisa Patterson

Gas prices getting you down? Search AOL Autos for fuel-efficient used cars.
(<http://autos.aol.com/used?ncid=aolaut00050000000007>)

#5

Leza Mikhail

From: Warren McDermott [warren1928@verizon.net]
Sent: Friday, June 20, 2008 2:30 PM
To: LezaM@rpv.com
Subject: St John Fisher church

Leza Mikhail, Associate Planner R.P.V.

I am a long time resident of R.P.V. and equally long a parishner at S.J.F. I have, in detail, the proposed plans for the new church. I hope to attend the hearing on this matter on Tues. 6/24, but do not plan to speak, however I wish to go on record as favoring this plan.

Warren McDermot

26602 Honeycreek Rd.

R.P.V.

email warren1928@verizon.net

#5

Leza Mikhail

From: dbunke [dbunke@verizon.net]
Sent: Friday, June 20, 2008 3:20 PM
To: lezam@rpv.com
Subject: Fw: Saint John Fisher Parish Development Plan

----- Original Message -----

From: dbunke
To: Associate Planner
Sent: Friday, June 20, 2008 3:12 PM
Subject: Saint John Fisher Parish Development Plan

Dear Leza Mikhail,
Tuesday evening the city of Rancho Palos Verdes will be having a meeting. At the meeting the Saint John Fisher Parish Development plan will be considered for a Conditional Use Permit. As members and neighbors of Saint John Fisher Church we support this development plan. Please do all that you can to ensure that Saint John Fisher Church receives their conditional use permit. Saint John Fisher Church has always been a good neighbor and an asset to the community. This project will bring much joy to the many people of Rancho Palos Verdes. I thank you for your support.
Sincerely

Daniel Bunke
Margaret Bunke
29508 Oceanport Rd.
Rancho Palos Verdes, Ca 90275
310 265-0622

#5

Leza Mikhail

From: John Libby [johnlibby@verizon.net]
Sent: Saturday, June 21, 2008 2:48 PM
To: lezam@rpv.com
Subject: Public Hearing June 24 for St. John Fisher

I cannot attend the public hearing in person but would like to provide my **strong disapproval** of the plans and development.

The current noise and traffic burden is enough on Sundays. Adding a bell schedule beyond Sunday morning is downright obnoxious.

Building a structure two to three times taller than anything in our residential area is a very poor zoning decision. The type that ruins a community and its aesthetics for which zoning laws and permits are intended to protect.

Thomas John Libby
11 Mela Lane
310-541-1501

#5

Leza Mikhail

From: Ted Wynne [ted@wynneco.com]
Sent: Saturday, June 21, 2008 10:30 PM
To: davidltomblin@sbcglobal.net; jeff@jeffewislaw.com; pltetreault@netzero.com; LezaM@rpv.com
Subject: St John Fisher application Please APPROVE

Dear Planning Commissioner,

This church has been in it's current location for 40 or 50 years.

The site is ideal for a church.

The lot coverage is very favorable. Traffic from the facility has never been a problem and will continue to be light for parcel of this size. On Sunday morning there is very limited use of the streets surrounding the corner lot.

Church communities make the best neighbors anyone can have.

To object to a cross - as some of the signature gatherers circulating adjacent neighborhoods are doing is disgraceful.

Please do the right thing and approve this application

Ted Wynne

#5

Leza Mikhail

From: damassoc@sbcglobal.net
Sent: Sunday, June 22, 2008 7:53 PM
To: Leza Mikhail
Cc: David A. Sork
Subject: St John Fisher new building program

Dear Leza Mikhail

I support the building program at Saint John Fisher Parish.

Today, I was dismayed to see a letter to the editor of the Daily Breeze in opposition to construction of the new church facility. Although the letter listed six "concerns", these contained only three separate topics. The objection claimed that (1) views would be blocked, (2) traffic & parking problems would occur and (3) noise problems would result from constant bell ringing. My dismay was due to the fact that these claims are all false.

No scenic view will be blocked because the property is at the crest of the hill. Volume of traffic will not change because the purpose of the new facility is to better serve the existing congregation - not increase it. The related parking situation will likewise be unchanged. All normal parking is in spaces on church property as approved by the City of RPV. Bells will ring as customary at traditional happy and solemn occasions but certainly not "constantly" but at reasonable times only. The earliest bell will ring just prior to 9 am Sunday Mass and latest just prior to 5 pm Sunday Mass.

St. John Fisher is a Catholic community for all who wish to celebrate life in the light of Christ.

Best regards,

Dennis A. Matthews
PHONE: 310/539/6635
FAX: 310 539 6566
EMAIL: damassoc@sbcglobal.net

#5

Leza Mikhail

From: Molly Slaughter [johnmollyslaught@verizon.net]
Sent: Monday, June 23, 2008 9:07 AM
To: lezam@rpv.com; David Sork; Lhuntcounts@aol.com
Subject: St. John Fisher Church Project

To: Leza Mikhail
 Associate Planner
 City of Rancho Palos Verdes

FROM: John Slaughter
 5420 Meadowdale Lane
 Ridgecrest Subdivision

DATE: June 21, 2008

SUBJECT: St. John Fisher Church

Having been a parishioner at St. John Fisher church for close to 40 years I was delighted when I first heard we planned to build a “real” church. We moved from the St. Laurence parish and a beautiful church building in 1969. I was aware that the “church” we were to attend was temporary due to funding constraints and it very much looked the part. We learned that a new more fitting and architecturally pleasing church would be built in the near future at the “corner” where it could be seen and appreciated. Everyone and anyone who cared knew this to be the future plan for all these years.

Now, some forty plus years later, after two mostly cosmetic remodels of the existing building, a new, architecturally beautiful, visible church is to be built as planned. I couldn't be happier!

The parish has not grown much in number but the numbers of children it serves has grown substantially. Most of the additional buildings in the plan will benefit the kids, including Religious Education space and space for many adult ministries that have suffered for lack of meeting space. The existing, temporary church building will be converted to a basketball court (and other floor sports) use. The kids have had to share the parking lot for these activities all these years. There is no room for bleachers in this structure so no traffic problem will be created.

I am aware that a “few” residents have objections to the project. The vast majority of developments and houses in the area did not exist when the St. John Fisher Master Plan was first done and was subsequently available to everyone who moved here. The fact that the 1st phase of the Master Plan was substantially hidden by landscaping for all these years was only circumstantial and not intentional or planned. It makes no sense for a “real” church to be hidden and the situation will finally be rectified.

I know we not only have the right to build a church and ancillary buildings within the state and local codes, but feel we have the obligation to meet the needs and aspirations of the parish members.

RECEIVED

June 17, 2008

#5

JUN 19 2008

Dear Sirs

PLANNING, BUILDING AND
CODE ENFORCEMENT

My husband Harold and I have lived on the Peninsula since 1958. We are founding members of St. John Fisher parish. We completely support the building of the new church at Crest and Benchout.

It was always the plan of Msgr. Thomas McCaskey, our founding pastor, that a permanent church building would exist on that corner. I understand the original blue prints exist to support that fact.

We completely support financially and otherwise the building of the new church.

Sincerely
A. Veronica McDonnell David E. McDonnell
27026 Indian Peak Rd.
L.P.O. Co. 90275

RECEIVED

#5

JUN 19 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

**Planning Commission
Rancho Palos Verdes, Ca**

June 18, 2008

Re: St. John Fisher's Church Application

Dear Commissioners,

From the corner of Crest and Crenshaw, to 2 miles north, to 3 miles south, to 1 mile east and to 2 miles west, 99% of what you see is single family houses. Only the Arts Center and Ralphs provide any interruption of one of the finest residential communities in California. And the churches, temple and senior facilities are correctly isolated in the Crestridge area.

In fact, for many, many years St. John Fisher's Church has gone out of its way to fit right in with the total residential character of the area. Its carefully planted vegetation has grown beautifully into a characteristic which hides their extensive site development.

Their proposal is a travesty to the entire area. Its size, scope, height and noise generation will pollute the area like the worst kind of billboard. Previous heads prevailed on them to maintain the neighborhood. It looks like they are not only trying to abuse the residents and even their own site; they are requesting changes even greater than their earlier application.

With all of their property, why not move the sanctuary elsewhere where its size and bulk will be screened from everyone within miles. Why not eliminate a 72 foot high sign (bell tower and cross) which will overshadow and severely damage the residential character previous commissions and councils have so carefully maintained? Why not eliminate ringing bells, a further disruption to a quiet and peaceful area?

Don't desecrate our city.

**Allan H. Colman
18 Mela Lane
Rancho Palos Verdes, CA 90275**

#5

June 10 2008 LEZA MIKHALL, Planning Dep't

RPV

Dear Editor: Planning Commission

St. John Fisher's Church is at it again. The last time they offered to pollute the airwaves with constantly ringing bells, and provide even worse visual pollution including a 65 foot tower topped by a cross, they were soundly beaten back. Now, they have moved the bell tower to a location which will provide even more visual ugliness for the neighbors and everyone who drives by the busy corner. And won't it be great for our neighborhood to have constant bells competing with the squawks of the peacocks?

Why does the 72 foot high monster need to exceed the nearby trees by 60 feet when one approaches from the west? No city council in the world would permit a sign that high, that visually impactful and that noisy.

Eight or ten years ago, when the church made its first run at turning from a good neighbor to "king of the hill", I asked the Monsignor why they needed such a high tower and bells. His straight forward answer was "so that when people drive on to the property, they can locate the chapel." My question to him then, and the same question now is, once you are on the property do you need constantly ringing bells and a 72 foot high sign to direct parishioners to their place of prayer?

To be a good neighbor means considering your neighbors. You can build a beautiful structure to enrich your parishioners. Don't destroy the neighborhood by doing so.

Sincerely,

Allan Colman
18 Mela Lane
RPV, CA 90275

#5

City of Rancho Palos Verdes
 Director of Planning, Building and Code Enforcement
 30940 Hawthorne Blvd.
 Rancho Palos Verdes, California 90274
 Attn: Director of Planning and Zoning and Ms Leza Michail

RECEIVED

JUN 19 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Director of Planning and Ms Leza Michail,

We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We never received any public notices concerning the proposed building construction at St. John Fisher, yet we are within 500 feet of the construction. **We are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place.**

Please note the following concerns:

- 1) **Invasion of privacy.** In a residential neighborhood, a large and massive building that is 4-5 stories high in that location would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards.
- 2) **Noise problem.** Previously contested by neighbors successfully, there is already an existing noise disturbance issue. Currently we can hear the early-morning sermons beginning at 7:00 am and any activities that continue throughout the course of the entire day. Allowance of this building would further increase the noise problem that already exists. These noise problems have been unaddressed for the past several years and a new building would definitely amplify these noise problems further. St. John Fisher once again is trying to propose a new addition, and plans to construct a new bell tower that would ring throughout the hours of 8:00 am through 6:00 pm, seven days a week in a residential neighborhood.
- 3) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. Before and after services there is a line a cars entering and exiting the parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. Allowance of this building would further decrease parking space in their already insufficient parking lots. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- 5) **Good neighbor policy.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and breaks the good neighbor spirit of living harmoniously together. This is a residential neighborhood, not an inner city/commercially zoned area. The proposed St. John Fisher building is massive, unsightly and overbearing; it imposes on nearby residences' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.

Once again, we are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place, and we expect to hear from you soon.

Sincerely,

Christina Wesley 11 Melba Lane 6/18/08

#5

City of Rancho Palos Verdes
 Director of Planning, Building and Code Enforcement
 30940 Hawthorne Blvd.
 Rancho Palos Verdes, California 90274
 Attn: Director of Planning and Zoning and Ms Leza Michail

RECEIVED

JUN 19 2008

Dear Director of Planning and Ms Leza Michail,

PLANNING, BUILDING AND
 CODE ENFORCEMENT

We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We never received any public notices concerning the proposed building construction at St. John Fisher, yet we are within 500 feet of the construction. **We are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place.**

Please note the following concerns:

- 1) **Invasion of privacy.** In a residential neighborhood, a large and massive building that is 4-5 stories high in that location would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards.
- 2) **Noise problem.** Previously contested by neighbors successfully, there is already an existing noise disturbance issue. Currently we can hear the early-morning sermons beginning at 7:00 am and any activities that continue throughout the course of the entire day. Allowance of this building would further increase the noise problem that already exists. These noise problems have been unaddressed for the past several years and a new building would definitely amplify these noise problems further. St. John Fisher once again is trying to propose a new addition, and plans to construct a new bell tower that would ring throughout the hours of 8:00 am through 6:00 pm, seven days a week in a residential neighborhood.
- 3) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. Before and after services there is a line a cars entering and exiting the parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. Allowance of this building would further decrease parking space in their already insufficient parking lots. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- 5) **Good neighbor policy.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and breaks the good neighbor spirit of living harmoniously together. This is a residential neighborhood, not an inner city/commercially zoned area. The proposed St. John Fisher building is massive, unsightly and overbearing; it imposes on nearby residences' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.

Once again, we are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place, and we expect to hear from you soon.

Sincerely,



26 Santa Barbara Plw.
 RP.V. CA 90276

#5

Mr. Joel Rojas
Director of Planning, Building and Code Enforcement
City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275

June 7, 2008

RECEIVED

JUN 19 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Subject: Proposed St. John Fisher Expansion

Dear Mr. Rojas,

I am astounded that you could possibly propose a "Mitigated Negative Declaration" for the very extensive, disruptive, and largely negative Master Plan of St. John Fisher!

As a resident of the Ridgcrest neighborhood, just below St. John Fisher, I will be directly affected by the increased traffic on Crenshaw - both during and also following the extensive construction project being proposed - due to the enlarged residential facilities being planned and also the larger facilities for social activities, worship, and other. Shrinking available parking by converting existing parking to buildings will have the net-effect of many more cars parked on the streets around the church, which will be unsightly to residents who walk through the area now on the way to the Del Sera Park and elsewhere. Further, the idea of church bells ringing intermittently or at any time on every day of the week - particularly from a tall tower at the crest of our hill to make them even louder - is totally unacceptable.

I can find no basis upon which you, ostensibly a qualified planning official representing the entire community of RPV, could have prepared and published a "Proposed Mitigated Negative Declaration" for this project. To the best of my knowledge, you're duty is to your community and not to blindly support the interests of the Catholic Church.

I have enjoyed attending the St. John Fisher's sanctuary, and can see no problems with it at all, nor the need for any additional nursery schools, music rooms, church libraries and whatever. If there is a need for such, I suggest that the private sector should provide reasonable alternatives for any such non-sanctuary or worship related needs which would then generate additional tax revenue to pay for our community parks, facilities, and public employees which serve the entire community.

Please re-consider your tacit approval of the proposed, radical church expansion.

Sincerely,



Howard O. Thrall
2862 Crestridge Road
Rancho Palos Verdes, CA 90275

#5

City of Rancho Palos Verdes
 Director of Planning, Building and Code Enforcement
 30940 Hawthorne Blvd.
 Rancho Palos Verdes, California 90274
 Attn: Director of Planning and Zoning and Ms Leza Michail

RECEIVED

JUN 19 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Director of Planning and Ms Leza Michail,

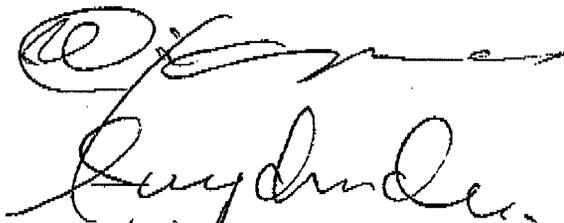
We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We never received any public notices concerning the proposed building construction at St. John Fisher, yet we are within 500 feet of the construction. **We are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place.**

Please note the following concerns:

- 1) **Invasion of privacy.** In a residential neighborhood, a large and massive building that is 4-5 stories high in that location would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards.
- 2) **Noise problem.** Previously contested by neighbors successfully, there is already an existing noise disturbance issue. Currently we can hear the early-morning sermons beginning at 7:00 am and any activities that continue throughout the course of the entire day. Allowance of this building would further increase the noise problem that already exists. These noise problems have been unaddressed for the past several years and a new building would definitely amplify these noise problems further. St. John Fisher once again is trying to propose a new addition, and plans to construct a new bell tower that would ring throughout the hours of 8:00 am through 6:00 pm, seven days a week in a residential neighborhood.
- 3) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. Before and after services there is a line of cars entering and exiting the parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. Allowance of this building would further decrease parking space in their already insufficient parking lots. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- 5) **Good neighbor policy.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and breaks the good neighbor spirit of living harmoniously together. This is a residential neighborhood, not an inner city/commercially zoned area. The proposed St. John Fisher building is massive, unsightly and overbearing; it imposes on nearby residences' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.

Once again, we are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place, and we expect to hear from you soon.

Sincerely,



6/18/08

8 Meigs Lane

RPV, CA 90285 330

#5

City of Rancho Palos Verdes
 Director of Planning, Building and Code Enforcement
 30940 Hawthorne Blvd.
 Rancho Palos Verdes, California 90274
 Attn: Director of Planning and Zoning and Ms Leza Michail

RECEIVED

JUN 19 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Dear Director of Planning and Ms Leza Michail,

We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We never received any public notices concerning the proposed building construction at St. John Fisher, yet we are within 500 feet of the construction. We are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place.

Please note the following concerns:

- ✓ 1) **Invasion of privacy.** In a residential neighborhood, a large and massive building that is 4-5 stories high in that location would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards.
- ✓ 2) **Noise problem.** Previously contested by neighbors successfully, there is already an existing noise disturbance issue. Currently we can hear the early-morning sermons beginning at 7:00 am and any activities that continue throughout the course of the entire day. Allowance of this building would further increase the noise problem that already exists. These noise problems have been unaddressed for the past several years and a new building would definitely amplify these noise problems further. St. John Fisher once again is trying to propose a new addition, and plans to construct a new bell tower that would ring throughout the hours of 8:00 am through 8:00 pm, seven days a week in a residential neighborhood.
- ✓ 3) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. Before and after services there is a line of cars entering and exiting the parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. Allowance of this building would further decrease parking space in their already insufficient parking lots. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- ✓ 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- ✓ 5) **Good neighbor policy.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and breaks the good neighbor spirit of living harmoniously together. This is a residential neighborhood, not an inner city/commercially zoned area. The proposed St. John Fisher building is massive, unsightly and overbearing; it imposes on nearby residences' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.

Once again, we are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place, and we expect to hear from you soon.

Sincerely,

Richard + Diane Brode
 28 Santa Catalina Dr.
 R.P.V. (Island View)

#5

June 18, 2008

City of Rancho Palos Verdes
Director of Planning, Building and Code enforcement
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90274
ATTN: Director of Planning and Zoning and Ms. Leza Mikhail

RECEIVED

JUN 19 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Fax: 310-544-5293

Dear Director of Planning and Zoning and Ms. Leza Mikhail:

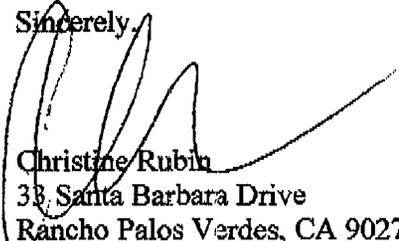
We are neighbors of St. John Fisher Church and live near the intersection of Crest Blvd. and Crenshaw Blvd. We never received any public notices concerning the proposed building construction at St. John Fisher Church yet we live very close to the development. **We are opposed to the newly proposed St. John Fisher Building construction on the corner of Crest and Crenshaw Blvd.** Our family along with our fellow neighbors request the construction be stopped and not allowed in our neighborhood.

Currently when we walk our neighborhood we are surrounded by beautiful homes, lovely landscapes and ocean views. Somehow the sight of a massive 18,000 square foot structure topped with a bell tower and cross at a height of 88' does not blend into our scenic neighborhood. This appears to be an intrusive design that does not lend itself to a residential neighborhood. Therefore we oppose the building construction.

In addition, as if the increasing traffic noise from Crest is not enough, the proposed bell schedule to ring intermittently from the hours of 8:00 a.m. to 6:00 p.m. throughout the week would be a further disturbance. For this reason and many other concerns we share with our neighbors, such as loss of property value, and traffic problems, we oppose the building construction.

Thank you for allowing us to express our concerns for this proposed construction. We chose to live in this neighborhood for the peacefulness it offers and we feel the proposed building structure by St. John Fisher's Church is an unwelcome and negative change to the neighborhood.

Sincerely,



Christine Rubin
33 Santa Barbara Drive
Rancho Palos Verdes, CA 90275

Maude Landon
34 Santa Barbara Drive
Rancho Palos Verdes, CA 90275
maudelandon@yahoo.com

RECEIVED

JUN 23 2008 #5

PLANNING, BUILDING AND
CODE ENFORCEMENT

June 20, 2008

Mr. Joel Rojas
Director of Planning, Building and Code Enforcement
City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275

Dear Joel,

I live approximately one block from St. John Fisher Church and will be directly affected by the construction that is proposed by the church. I am concerned about the proposed construction for multiple reasons, namely, the **height and visibility problems, noise problems, traffic problems, property value loss** to my home, and **invasion of privacy** issues.

Though I must pass the church every time I come home or leave my house, it is not currently visible from my home; however, it will be extremely visible, unsightly and overbearing, from my front yard after construction. The height of the new sanctuary is excessive, especially since the west side of the building (rising to 48") is the area that will be the most obtrusive to the surrounding homes, plus the height of the bell tower will be 72 feet and the cross will be 88 feet high. This church is located in the middle of a residential zone that has a height limit of two stories (though most of the surrounding homes are only single story). This massive and intrusive structure violates neighborhood compatibility.

I am additionally, opposed to the bells and the bell tower. It made sense in 18th century to have the bells chime, because most people did not have watches or clocks, but in the 21st century, it is anachronistic and would intrude upon our peace and tranquility. The bell tower is just too tall in the middle of a residential neighborhood. If they want this massive structure, it seems that being located in the middle of an institutional zone (such as Crestridge Road between Crenshaw Blvd. and Highridge Road) would make more sense. They are not being good neighbors considering their location.

The movement of so much dirt including the grading of more than 30,000 cubic yards of dirt is extreme. I had heard some time ago that there was a problem with water under the ground in the culvert with possible land movement problems between the church and the Countryside development on Valley View Road. Has this been investigated?

This addition to the church is definitely going to impact the traffic at Crest Road and Crenshaw Blvd. We do not want a signal in the middle of our residential area. I would respectfully request that this construction be stopped.

Because of the multiple consequences that this project will have on the environment of the surrounding area, it seems as though CEQA would require a full EIR, if the church insists on pursuing this massive enlargement.

Very truly yours,


Maude Landon

Cc: Leza Mikhail, Associate Planner

June 21, 2008

Director of Planning, Building and Code Enforcement
City of Rancho Palos Verdes
30940 Hawthorne Blvd
Rancho Palos Verdes, CA 90275

Re: Proposed Construction at St. John Fisher

Dear Planning Commission,

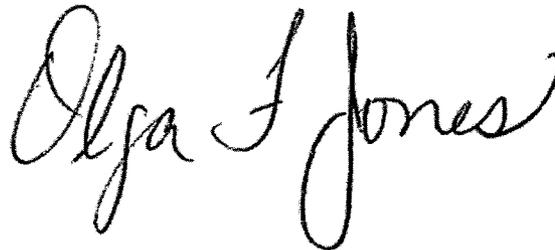
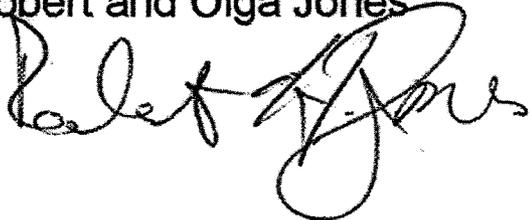
We are residents of Del Cerro and we live on Crestwind Drive.

We have one concern about the St. John Fisher Master Plan.

NOISE - would increase the noise from St. John Fisher that already exists. We do not feel that we should be subjected to noise from the church bell.

Sincerely,

Robert and Olga Jones



3 Crestwind Drive

334

#5

#5

June 22, 2008

Letter to Planning Commission:

St John Fisher Church has been in existence at the same corner in Rancho Palos Verdes serving the same congregation since 1961, for 47 years. They have held Masses, weddings, baptisms in a building that was originally meant to be a gymnasium. Now they finally will build their church. There will be the same number of people going to weekly Mass. There will be the same number of cars coming and going, no more, no less.

The tolling of bells across the countryside has often been written about by poets and authors. What a shame that we as a community have become so jaded that we consider the pealing of bells on Sunday morning as "noise pollution." I'm certain St John Fisher Church has no intention of playing the bells 24 hours a day seven days a week.

Graceful steeples have been painted by artists for centuries. The sight seems to issue a message to "Come and congregate." Have we as a people become so polluted by modern art, billboards and urban sights that we cannot see the beauty of a steeple done with architectural grace?

The size of the proposed new church would not be in conflict with the other churches in the neighborhood. It would not be any more overbearing than the present buildings on the property. There is not a single home that would have their ocean view blocked by the proposed new church, as all the homes are on the ocean side of the site. It is a simple design surrounded by greenery. It would not impose on neighbors' privacy.

The new church simply will visually enhance the neighborhood. It will be a welcoming light to all.

Joan Barry

30770 Ganado Drive, RPV

310-377-7559

**Aaron Landon
34 Santa Barbara Drive
Rancho Palos Verdes, CA 90275
bossyx@yahoo.com**

RECEIVED

JUN 23 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

#5

June 22, 2008

Director of Planning Commission
City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275

Re: St. John Fisher proposed construction

Dear Director:

I have seen the building profile constructed at the corner of Crest Road and Crenshaw Blvd. and I am very concerned with the size and scope of the project. I believe that it is not in keeping with the semi-rural feel of the community. Placed in the middle of a residential neighborhood it should be much less tall (two stories maximum), much less "in your face" and much less obtrusive.

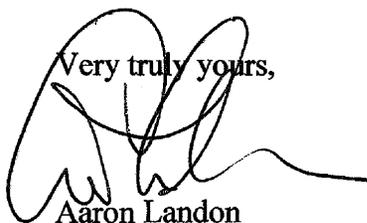
In its current configuration the corner is dignified and visually appealing but with the massive proposed structure soaring eighty plus feet and prominently situated on the corner, it will change the character of the neighborhood and is not in sync with the area.

I am also opposed to the bells and the bell tower. I could tolerate the bells ringing once a day at noon. But their function of calling the faithful to church hourly is hardly appropriate in this day and age and not something I want to hear. The tower, as previously stated, is just too tall and the building it is to sit upon is too large for its proposed location.

I believe a project of this magnitude that involves the movement of massive amounts of dirt that will produce a lot of noise in its construction and its continued operation and one that potentially could impact traffic should be required to have a full EIR report on its consequences.

I have not received any notifications regarding this project from the Church or the City, in spite of our proximity, and ask that I be placed upon the list for notification.

Very truly yours,



Aaron Landon

#5

City of Rancho Palos Verdes
Director of Planning, Building and Code Enforcement
30940 Hawthorne Blvd.
Rancho Palos Verdes, California 90274
Attn: Director of Planning and Zoning and Ms Leza Michail

Dear Director of Planning and Ms Leza Michail,

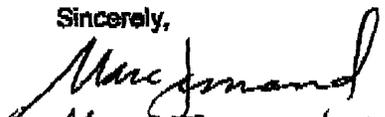
We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We never received any public notices concerning the proposed building construction at St. John Fisher, yet we are within 500 feet of the construction. We are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place.

Please note the following concerns:

- 1) **Invasion of privacy.** In a residential neighborhood, a large and massive building that is 4-5 stories high in that location would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards.
- 2) **Noise problem.** Previously contested by neighbors successfully, there is already an existing noise disturbance issue. Currently we can hear the early-morning sermons beginning at 7:00 am and any activities that continue throughout the course of the entire day. Allowance of this building would further increase the noise problem that already exists. These noise problems have been unaddressed for the past several years and a new building would definitely amplify these noise problems further. St. John Fisher once again is trying to propose a new addition, and plans to construct a new bell tower that would ring throughout the hours of 8:00 am through 6:00 pm, seven days a week in a residential neighborhood.
- 3) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. Before and after services there is a line of cars entering and exiting the parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. Allowance of this building would further decrease parking space in their already insufficient parking lots. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- 5) **Good neighbor policy.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and breaks the good neighbor spirit of living harmoniously together. This is a residential neighborhood, not an inner city/commercially zoned area. The proposed St. John Fisher building is massive, unsightly and overbearing; it imposes on nearby residences' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.

Once again, we are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place, and we expect to hear from you soon.

Sincerely,

 6-19-08
Marc Fernandez
31 SANTA BARBARA Dr.
Rancho Palos Verdes, CA 90275

#5

DOUGLAS BUTLER
A PROFESSIONAL CORPORATION
ATTORNEY AT LAW

CERTIFIED SPECIALIST - TAXATION LAW
PROBATE, ESTATE PLANNING & TRUST LAW
THE STATE BAR OF CALIFORNIA
BOARD OF LEGAL SPECIALIZATION

22441 HIGHRIIDGE ROAD, SUITE 303
ROLLING HILLS ESTATES, CALIFORNIA 90274-4872

(310) 265-4999
FAX (310) 265-4995

June 23, 2008

RECEIVED

JUN 23 2008

PLANNING, BUILDING AND
CODE ENFORCEMENT

Joel Rojas
Director of Planning
Planning, Building and Code Enforcement
30940 Hawthorne Boulevard
Rancho Palos Verdes, CA 90275

Re: Opposition to Proposed St. John Fisher
Master Plan Remodel and Expansion
Case Number ZON 2007-000492

Dear Mr. Rojas:

I am the owner of the property at 5417 Valley View Road, Rancho Palos Verdes, California 90275 which is adjacent to St. John Fisher Church.

I am strongly opposed to the use of a portion of the property as a Columbarium.

The property is not zoned as a cemetery use. The practice of building Columbarium in Catholic churches is frowned upon by church authorities because the church may be sold or remodeled in the future.

Very truly yours,



DOUGLAS BUTLER

DB:da

Butler\RentalProperties\ValleyView\
PlanningCommissioncolumbarium

#5

City of Rancho Palos Verdes
Director of Planning, Building and Code Enforcement
30940 Hawthorne Blvd.
Rancho Palos Verdes, California 90274
Attn: Director of Planning and Zoning and Ms Leza Michail

Dear Director of Planning and Ms Leza Michail,

We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We never received any public notices concerning the proposed building construction at St. John Fisher, yet we are within 500 feet of the construction. **We are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place.**

Please note the following concerns:

- 1) **Invasion of privacy.** In a residential neighborhood, a large and massive building that is 4-5 stories high in that location would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards.
- 2) **Noise problem.** Previously contested by neighbors successfully, there is already an existing noise disturbance issue. Currently we can hear the early-morning sermons beginning at 7:00 am and any activities that continue throughout the course of the entire day. Allowance of this building would further increase the noise problem that already exists. These noise problems have been unaddressed for the past several years and a new building would definitely amplify these noise problems further. St. John Fisher once again is trying to propose a new addition, and plans to construct a new bell tower that would ring throughout the hours of 8:00 am through 6:00 pm, seven days a week in a residential neighborhood.
- 3) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. Before and after services there is a line a cars entering and exiting the parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. Allowance of this building would further decrease parking space in their already insufficient parking lots. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- 5) **Good neighbor policy.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and breaks the good neighbor spirit of living harmoniously together. This is a residential neighborhood, not an inner city/commercially zoned area. The proposed St. John Fisher building is massive, unsightly and overbearing; it imposes on nearby residences' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.

Once again, we are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. **We all request that this construction be stopped immediately and that no further construction take place, and we expect to hear from you soon.**

Sincerely,

Linda & Bruce Greenberg
34 San Clemente - Island View

Torrance Parker

RECEIVED

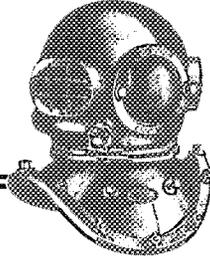
JUN 24 2008

#5

PLANNING, BUILDING AND
CODE ENFORCEMENT

27 Mela Lane

Palos Verdes, CA 90275



City of Rancho Palos Verdes
Attn: Director of Planning & Liza Mikhail
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA. 90274

REF: St. John Fisher Proposed Construction

Dear Director of Planning & Ms. Mikhail:

I have been a resident of 27 Mela Lane, Rancho Palos Verdes for the past twenty-three years. My home at 27 Mela Lane is near the intersection of Crest and Crenshaw Blvd., and approximately 200 yards NW from the property of the St. John Fisher school and church facility.

I am not opposed to the proposed St. John Fisher building construction, however, I would like to comment on a few of the following concerns (invasion of privacy, noise, traffic, property values) being circulated in a letter to Mela Lane homeowners for their signature.

Invasion of Privacy: Most Mela Lane homeowners looking toward the south do not have a view of the ocean or the St John Fisher property. Those few that do, view trees and lovely landscaping. The buildings and facilities within the St. John Fisher property are architecturally pleasing to the eye and constructed in good taste. I assume any new construction will conform to those structures already existing.

Noise: In the twenty-three years I have lived in the Mela Lane complex, I have never heard sounds or any disturbing noise coming from the St. John Fisher Church or school. I do feel, however, that if a bell tower is constructed that bell ringing should be limited to Christmas and only very special holidays. Bell ringing on a continuous basis during both the week and weekends would be a disturbance to many in the neighborhood in my opinion.

Traffic: I do not believe that traffic is or ever has been much of a problem for those living at Mela Lane. On the few holidays such as Christmas and Easter when many visit the church, the traffic is momentarily heavy, but only for a period of five minutes or so between the two or three services.

Property values: Having a church with a school in our neighborhood is an enhancement. It is a convenience and enjoyment to many. It increases our property values.

Sincerely,

Torrance R. Parker

6-20-08

City of Rancho Palos Verdes
Director of Planning, Building and Code Enforcement
30940 Hawthorne Blvd.
Rancho Palos Verdes, California 90274
Attn: Director of Planning and Zoning and Ms Leza Michail

Dear Director of Planning and Ms Leza Michail,

We are the neighbors of St. John Fisher and all live near the intersection of Crest Blvd. and Crenshaw Blvd. We never received any public notices concerning the proposed building construction at St. John Fisher, yet we are within 500 feet of the construction. We are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place.

Please note the following concerns:

- 1) **Invasion of privacy.** In a residential neighborhood, a large and massive building that is 4-5 stories high in that location would be overbearing and unsightly. It would be visible by all nearby residences from inside and outside their residence as well as from their front and back yards.
- 2) **Noise problem.** Previously contested by neighbors successfully, there is already an existing noise disturbance issue. Currently we can hear the early-morning sermons beginning at 7:00 am and any activities that continue throughout the course of the entire day. Allowance of this building would further increase the noise problem that already exists. These noise problems have been unaddressed for the past several years and a new building would definitely amplify these noise problems further. St. John Fisher once again is trying to propose a new addition, and plans to construct a new bell tower that would ring throughout the hours of 8:00 am through 6:00 pm, seven days a week in a residential neighborhood.
- 3) **Traffic problem.** Currently there is a traffic problem due to the large amount of automobiles accessing the St. John Fisher Crenshaw parking lot. Before and after services there is a line of cars entering and exiting the parking lot. When their parking lot is full, St. John Fisher attendees park up and down Crenshaw Blvd. These traffic patterns caused by St. John Fisher attendees results in traffic jams, delays and potential accidents. Allowance of this building would further decrease parking space in their already insufficient parking lots. If St. John Fisher is allowed to construct this additional 20,000 sq. ft. building, the impacted parking on Crenshaw Blvd. will soon invade our own residential streets.
- 4) **Property value loss.** Residences across the street as well as other nearby residences may face potential loss of value to their existing homes due to the potentially large, overbearing, massive and intrusive proposed St. John Fisher structure and resulting noise pollution.
- 5) **Good neighbor policy.** Building such a large, massive and intrusive structure violates the basic concept of blending into the surrounding area with its neighbors and breaks the good neighbor spirit of living harmoniously together. This is a residential neighborhood, not an inner city/commercially zoned area. The proposed St. John Fisher building is massive, unsightly and overbearing; it imposes on nearby residences' right to privacy as well as their right to enjoy the beautiful sights, sounds and amenities that RPV has to offer.

Once again, we are all opposed to the newly proposed St. John Fisher Building construction on the corner of Crest Blvd. and Crenshaw Blvd. We all request that this construction be stopped immediately and that no further construction take place, and we expect to hear from you soon.

Sincerely,

RECEIVED

JUN 24 2008

#5

PLANNING, BUILDING AND
CODE ENFORCEMENT

June 24, 2008

VIA FACSIMILE AND HAND DELIVERY

Mr. Joel Rojas, ACIP
Director of Planning, Building and Code Enforcement
City of Rancho Palos Verdes
30940 Hawthorne Boulevard
Rancho Palos Verdes, CA 90275

Re: Comments on St. John Fisher Project
Your Letter Dated May 31, 2008

Dear Mr. Rojas:

This is further to our letter dated June 17, 2008. As you recall, our home and property on 15 Santa Barbara Drive are located directly across the street from the present sanctuary on Crenshaw Boulevard and extremely close to the proposed bell tower and planned sanctuary.

We have additional concerns regarding the above-referenced project:

1. Loss of Privacy: We have serious concerns about the potential loss of privacy on our property and in our home as a result of this project. For the last 16 years, a fence, dense hedge, pepper trees and pine trees on the Crenshaw border of the church property provided privacy from the church sanctuary and church and other activities. The new plan removes the hedge and fence, and there is nothing on the plans that ensures that the pepper and pine trees will remain. Moreover, our property sits approximately 40 feet below the elevation of the proposed sanctuary and sits directly across Crenshaw from the existing sanctuary, and very close to the proposed bell tower and new sanctuary site. As a result, we are concerned that parishioners and others on the Crenshaw side of the property in various places will be able to look directly into our yard and home. For example, there is a walkway from the corner steps at Crest and Crenshaw on the Crenshaw side; there is a columbarium sitting area just north of the existing sanctuary with only a 42" wall overlooking Crenshaw; and there is no mitigation prohibiting the placement of windows in the Crenshaw end of the existing sanctuary. The landscaping in the plans does not help this situation and would take years to mature. The permit should not be issued without carefully examining this issue and ensuring that the privacy of neighboring properties is protected.

2. Increased Noise: In addition to our concerns about the bells, which we addressed in our earlier letter, we are concerned about the overall increase in noise caused by the accumulation of new uses on the Crenshaw side of the property. With a larger capacity church and more people attending each mass, and other new uses of the property on the Crenshaw side, along with a new preschool, the overall noise level may

be substantially harmful. The permit should not be issued without carefully studying this issue and ensuring that the accumulated noise will not negatively affect the surrounding homes, especially those closest to church property.

3. Light: We have submitted concerns about the bulk, mass and height of the new sanctuary in our prior letter. However, we are also concerned that this structure, in whatever form it is ultimately approved, will cast a shadow into our property or otherwise lessen the light we currently enjoy, especially given our property's location, orientation, and grade approximately 40 feet below the proposed sanctuary site. The initial study and later Staff report do not address this important issue. The permit should not be issued without carefully studying this issue.

4. Bell Conditions: We object to the cumulative restrictions on the bells. Even after the Staff report, there are no required limits on the decibel level of the loudness of the bells as measured from surrounding neighborhood property lines. Moreover, the new recommendations set forth in the Staff report establishing a full minute's duration of ringing, and further increasing the frequency of the ringing by adding seven holy days as well as an unspecified but potentially large number of weddings and funerals, do not mitigate the existing proposed bell parameters; instead, they exacerbate the negative effects of the bells.

Sincerely,



Vincent and Lynne Belusko

**JULY 22, 2008 APPROVED
MINUTES**
(Planning Commission)

the City Council may increase. Thus, he felt that overall a seven member Planning Commission could be more cost effective than a five member Commission.

Commissioner Gerstner felt that staff does the bulk of the work in researching the projects and preparing staff reports, and anything the City can do to save staff time is beneficial. As far as being a diverse group, he noted that there currently are no women on the Planning Commission, and given this community, he did not think the Planning Commission was nearly as diverse as it could be. He felt that a five member Commission would definitely be faster than a seven member Commission and that the quality of the decisions would be relatively unchanged. He did agree that having a quorum is extremely important, and there have been instances in the past where if this had been a five member Commission having a quorum would have been difficult. However, if the goal is to save the City money, he felt that reducing the size of the Planning Commission would be a cost savings.

Vice Chairman Lewis disagreed with Commissioner Gerstner that five Commissioners can have a faster meeting than seven Commissioners. He felt that it is more a function of who is at the meeting rather than how many. He felt that if the City wants to save money they can encourage the Commissioners to receive their staff reports via a CD ROM rather than the large paper packets they currently receive, which have to be prepared by Staff. He stated he opposes the reduction from seven members to five and his opinions most closely align with those of Commissioner Ruttenberg.

Chairman Perestam felt there were times, because there were seven Commissioners, that making a decision has been difficult. However, there have also been many times where, because there were seven members, a better decision was reached. He felt that the Planning Commission has been a very effective body, and was supportive of keeping the Commission at seven members.

Commissioner Perestam added that there are a number of small things that can be done to help reduce the overall costs of the Planning Commission, such as re-ordering the meeting Agendas in certain ways to help reduce staff overtime.

Vice Chairman Lewis moved to make a recommendation to the City Council that the Planning Commission remain at seven members, seconded by Commissioner Tomblin. Approved, (5-1) with Commissioner Gerstner dissenting.

CONTINUED BUSINESS (cont)

2. Revision to Conditional Use Permit, Grading Permit, Minor Exception Permit, Site Plan Review & Environmental Assessment (Case No. ZON2007-00598): 5448 Crest Road

Commissioner Tomblin stated that to ensure there is no misconception and to remove any perception of an impartial hearing due to his affiliation with the applicant, he will recuse himself from hearing this item, and he left the dais.

Commissioner Gerstner stated that he was absent from the last meeting this item was heard, however he has watched the video of the meeting and feels he is able to participate in this public hearing.

Director Rojas noted that, given the City has received some public hearing continuance requests related to some related public records requests, staff is modifying its recommendation to continue the public hearing to the September 23, 2008 meeting. He felt that this will give those requesting the public records enough time to review the documents.

Associate Planner Mikhail presented the staff report, explaining that the Planning Commission had given the applicant direction at its previous meeting to redesign the sanctuary and reduce the height of the steeple, in addition to requesting clarification on the methodology used in the parking analysis and parking counts. She showed plans for the newly designed sanctuary and reviewed the changes made to the overall design, including the sanctuary and steeple. She discussed the detailed parking analysis as discussed in the staff report.

Commissioner Ruttenberg noted the request for a new garage required a Variance, and asked if the garage was designed to help with the parking issue.

Associate Planner Mikhail explained that the garage was designed to be a storage garage only.

Commissioner Ruttenberg noted that the parking analysis took into account certain functions happening on certain days at certain times. He asked if the City has any control over the church changing or adding activities at the site.

Director Rojas answered that it would depend on the conditions included in the Conditional Use Permit. He stated that the Conditional Use Permit can be very specific saying that only certain uses can take place at certain times on the property, and any changes would require an amendment to the Conditional Use Permit.

Commissioner Ruttenberg asked the City Attorney how far the City can go in telling the church what it can and cannot do on certain days or times.

City Attorney Lynch responded that if the issue is the timing of when certain activities take place to ensure that the property is not over parked, those are legitimate land use concerns. She stated that as long as the City is not preventing the church from exercising its religious practices, but rather making sure that the staging of certain activities at the site is done in a manner to make sure the required parking is provided, she did not think that was a substantial burden on the exercising of their religious activities.

Vice Chairman Lewis asked staff if they felt the pictures and simulations recently submitted by the applicant fairly, accurately represent how the project will look.

Associate Planner Mikhail stated that staff agreed with the pictures and simulations submitted by the applicant.

Shelly Hyndman (architect) explained that to reduce the visibility of the new church structure as viewed from the surrounding community, it has been pulled back from the street, increasing the setback from Crenshaw Blvd. by 42 percent. She explained that this results in setbacks in excess of the required setbacks by 131 to 364 feet over the 25 foot required setbacks, or 5 to 13 times the minimum requirement. She discussed moving the proposed church to a different location on the lot, but noted that moving the structure would not result in a fewer number of homes surrounding it. She also noted that moving it to a more central location would result in poor traffic circulation, difficulties for the Fire Department to reach the back of the church, and unfavorable soils conditions which would result in economically prohibitive foundation costs. She showed pictures of other local Catholic churches in San Pedro and other neighboring cities to show the proximity to residential neighborhoods and the height of their crosses, and also discussed the height of the crosses on churches in the local vicinity. She discussed the findings needed to approve a Height Variation and how this proposed design meets all of these findings. She concluded by stating that she has worked hard to address concerns noted by the Planning Commission and feels the revised design represents a response that will allow findings 3 and 4 to be made in support of the project.

Monsignor Sork spoke briefly on the history or the church's architecture, explaining that the building must be large enough to accommodate the parishioners and they should also create a sense of transcendence. He explained that this proposed church was designed specifically because of the worship needs of St. John Fisher. The location of the church is directly connected to the worship needs, including the gathering places and areas for the children. He felt that the current design meets the concerns of the community as well as the worship needs of the church.

Commissioner Ruttenberg asked the Monsignor if there was a plan to control overflow parking on special occasions.

Monsignor Sork explained that the two most crowded days are Christmas and Easter, and on those two days there are people in the parking lot directing the flow and maximizing the parking area. He explained that the church is currently offering more parking than is necessary, and that on most days the parking area will be at less than 60 percent capacity.

Commissioner Tetreault noted that at any given time there could be several types of activities happening on the church grounds, such as Boy Scout meetings, or education classes, or use of the future gymnasium. He asked if, when these various activities are

taking place, the church takes into account parking limitations so that the parking is not over extended at any one time.

Monsignor Sork answered that the church currently takes the parking and use into account and makes every effort to spread out the use of the church grounds so that there are no conflicts or parking issues.

Commissioner Tetreault asked the Monsignor if it is a concern of the church that the parishioners are not inconvenienced by having a lack of parking and having to find places in the neighborhood to park and walk to the property.

Monsignor Sork answered that the current parking lot has more than enough room for parking, and if people chose to park somewhere else it's not because there is no space in the parking lot.

Lisa Counts read several quotes from parishioners regarding the current design of the proposed church. She explained that this design is the result of years of meetings, education, and debate and that parishioners have pledged their hard earned money to see this church built. She stated that at recent hearings it has been suggested that the neighbors should have had some say in the design, however she disagreed, noting that it is not up to them to pick design options. They have not been educated about catholic religion, religious practices or traditions, nor is their hard earned money being used to build the church. To further redesign the church would place a great hardship on the parish, as it would require that this lengthy process be repeated. If it took two years to reach consensus among parishioners, opening it up to the various Homeowners Associations would make the process unwieldy in the extreme. She discussed the recent changes made, noting that these changes meet all City requirements and have satisfied City staff with all components of the project. She felt this is the best possible plan for St. John Fisher and the City of Rancho Palos Verdes.

Alan Weissman thanked the staff and City Attorney for granting the continuance and providing them with the needed time to review all of the documents and await the second request for documents. It also gives them time to meet with legal council and investigate environmental issues that haven't been addressed. He hoped that St. John Fisher will take the time to invite the neighbors to discuss the structure and the bells.

Ted Paulson encouraged the Planning Commission to continue the public hearing on this matter as recommended by staff. He explained that the extension is necessary to establish some dialogue with the church and reduce some of the atmosphere in the neighborhood. He also stated that on two or three days a year, usually on a major holiday, the church does exceed the parking capacity of their lot. He stated that cars park three quarters of the way down his street on both sides and park on Crenshaw Blvd. almost all the way down to Del Cerro Park. He was very disappointed that the church did not choose to involve the adjacent neighborhoods when designing the church and to get their input and concerns.

Douglas Butler stated that the required parking is 674 spaces and the church has asked to reduce that to 331 spaces, as they are not using all of the uses at the same time. He did not think this would provide adequate parking for the many uses at the church. He felt that the church's assumption that there will be no use of the Hall, no use of the multi-purpose room, no administrators, and no use of the new gym is not a reasonable assumption. He felt that 450 to 500 spaces, at a minimum, is necessary.

Philip Johnson commended Commission Tomblin for recusing himself from this public hearing. He stated that he was speaking for several members of the Valley View community. He felt that the argument that the church was existing before the surrounding homes is an argument of no consequence and quoted California Civil Code 3479 regarding nuisances. He stated that a nuisance can be defined as the right thing in the wrong place. He also quoted California Civil Code 3480 regarding public nuisances. He stated that the law says the nuisance cannot significantly expand or change and still have the protection against nuisance claims. He stated that before he bought his home in 1986 he specifically asked if the church had bells, if there is a cemetery at the church, and if the school made a lot of noise, and all of the answers were no. Now the church is asking for a substantially different building and there have been no sound studies or efforts to determine the decibel levels that will be produced. He pointed out that in 1994 St. John Fisher applied to use bells and the City restricted the use to Sundays and certain designated holidays only, between the hours of 9:00 a.m. and 6:00 p.m. only, and the decibel level was not to exceed 50 dBs measured at the adjoining property owner's line. He noted that no such restrictions have been placed on the current proposal. He discussed the Religious Land Use and Institutionalized Persons Act of 2000, noting that this Act does not give a religious institution the right to trample on the rights of others, and that a certain worshiping shall not infringe upon the rights of others. He felt that St. John Fisher has not been a good neighbor, in that they would have involved the local neighborhoods in their plans to expand.

Richard Wizenick did not think the proposed church structure will be compatible with the area. He stated that currently there are beautiful trees on the corner of Crenshaw Blvd. and Crest Road and the neighborhood is very quiet. He did not want that to change. He felt that reducing the height of the steeple even more and eliminating the steps to the street and keep the trees as an added buffer would be helpful.

Barbara Walch felt that the proposed church looks more like a commercial development in this residential neighborhood. She was concerned about the bell, adding that electronic bells are no substitute for real bells. She felt that if bells were played at very specific times and not too frequently, they might enhance the neighborhood. However, she objected to constant ringing.

Commissioner Ruttenberg asked Ms. Walch if she would object to bells ringing possibly once a day at a specified time.

Ms. Walch answered that it would depend on the time of day, adding that she would still object to electronic bells over real bells.

Noreen Chambers stated that she supports the Valley View and Island View residents in their objections to this project. She also objected to any type of bells, whether they are real or electronic.

Robert Mucha felt that the original design submitted to the City was exceptionally well done and fully endorses the revised design.

Florence McTaggart felt that the proposed church is a beautiful structure and to say that it is something that will impact this community is ludicrous. She felt very sad that there are people that are so adamantly against such a beautiful structure.

Tom Coull stated that the new building at the present height will cast a shadow on the Island View properties along Crenshaw. He explained that presently these homes have a shadow cast upon them from the trees along Crenshaw Blvd, however the sun can shine through the trees. He felt that any shade caused by this structure will have an economic impact on the homes in Island View. He requested a sun angle study be conducted for a twelve month period and a shade profile be presented.

Vincent Belusko stated that his home is probably the closest to the proposed bell tower. He discussed bell towers and bells, explaining that they are an aesthetic desire of parishioners. He stated that this church has existed on the present site for many years and has not had the need for ringing bells. He did not think that the argument to have or not have bells is a religious expression argument. He felt that the use of the Religious Land Use and Institutionalized Persons Act is a red herring argument in that all that is required is there not be discrimination against religious institutions. He stated they are subject to the same land use rules, which include no adverse land use to the adjacent properties. He stated that the proposed bell tower will have an adverse affect on his property.

Bruce Butler felt it will be impossible for the Planning Commission to find there will be no adverse affect on adjacent homes. He stated that parking during construction is a serious issue that the Planning Commission will need to address. He also felt that the proposed bell tower will have a significant impact on the real estate values in the neighborhood.

Lynne Belusko appreciated the changes that have been proposed in construction, however felt that even with this changes, because there is a lack of important information and standards, there is not sufficient information in the application to support a finding of no substantial adverse affect on adjacent properties. She stated there is no evidence that lower the height of the speakers will sufficiently reduce the bell noise in the surrounding neighborhoods. She stated there is no evidence that increasing the distance of the noise source will sufficiently reduce the bell noise experienced from her property and surrounding neighborhoods. She stated there is no

evidence that the proposed sound beams will not reflect off of the existing church structure and travel back to surround neighborhoods, nor is there evidence that a portion of the sound beam will not travel directly into the Valley View neighborhood. Therefore, given this current lack of information and standards, she did not think a finding of no substantial adverse affects cannot be made at this time. She stated that sound studies must be conducted to obtain additional information to accurately and objectively determine the affects of the proposed bell uses to the adjacent properties and surrounding neighborhoods.

Commissioner Tetreault asked Mrs. Belusko if she categorically objects to the use of bells by the church, or if she was concerned about the timing and the decibel level of the bells.

Mrs. Belusko answered she objects to both.

Commissioner Tetreault questioned what type of sound study can be conducted that will accurately measure the sound impact until the project is actually built, as the architecture and buildings around the bells will resonate with the sound. He asked if she would be comfortable with allowing the bells with a six-month review period, at which time there will be a public hearing before the Planning Commission to determine if there are adjustments that must be made.

Ms. Belusko answered that the first thing that must be determined is whether or not the bells are appropriate. If the Planning Commission feels the bells are appropriate, there must be regulations and standards established to determine a level at which they will not be adversely affecting the neighborhood properties. She was opposed to a program where the Planning Commission approves first and decides later whether or not it was a good idea.

Ronald Blond stated that he and his family are supportive of a number of elements in the construction proposal. He understood the churches needs and desires, however he felt that if built with the current design and in the proposed location the structures will have a very significant adverse affect upon his property. Because the land pad of the church property is 30 to 40 feet above his, the building will dominate the view from nearly all areas of his property. He stated that catholic churches come in all shapes and sizes, depending on the community they serve. He stated that it was his understanding that St. John Fisher considered several other less conspicuous designs before deciding on this one. He stated that he was very disappointed that St. John Fisher has made many choices throughout this process without consulting or working with the surrounding neighborhoods. He stated that the proposed design has quite a dramatic impact on the neighborhoods and their lives.

Gary Long questioned why something can't be built in the middle of this very large parcel in area that will have the least impact to the neighbors. He was very concerned about the size, bulk, and mass of the proposed project in addition to the location on the property. He stated this proposed design will be visible from both inside and outside the

homes of all nearby residences, will block out the sun, cast shadows and shade to many of the neighbors, and lower real estates values. He questioned why the church does not lower the building pad by excavating the site and lower the height of the structure. He questioned why, when single family residences all throughout the area have to comply with a 16-foot height limitation, the church is allowed to build up to 74-foot high. He felt the same building standards should apply for everyone. He showed several large pictures of the homes in his neighborhood with the silhouette behind them, and explained how this structure will impact their homes. He asked the Planning Commission to request St. John Fisher build their structures away from the corner of the property, in an area that will have minimal impact to the surrounding neighborhoods.

John Slaughter stated that he is thrilled that a new church will finally be built at St. John Fisher. He explained the parish has not grown much in numbers, however the number of children it serves has grown substantially, adding that most of the additional buildings in the plans will benefit the children. He acknowledged that there are a few residents who object to the plans, but pointed out that that the vast majority of houses and developments did not exist when St. John Fisher developed its master plan, noting that the plan was available to anybody who was interested in viewing it. He was anxious to see a real church at the site.

John Counts stated that both sides have presented a lot of photos to the Planning Commission. He felt that photos that are not altered can still be conveyed in different manners, and perspective is a big part of that. He stated that any photo that has been blown up has been altered, and therefore the Planning Commission must look at the photos with this in mind. He discussed parking, and noted that if a parking plan meets the minimum requirements of the City, then it meets the minimum requirements and should be approved.

John Rewinski stated that there was a comment earlier in the meeting that the most obtrusive design for the church was the one chosen, however actually it is the least obtrusive and smallest design that was chosen. In regards to the neighbors' complaints of a church being built at this particular location, he stated that this church was existing when every one of the neighbors bought their homes and that the church already had in place approval to construct a new sanctuary on this exact location. With regards to parking, he questioned if the requirements of the City are being met, and the regulations should not be changed at this time. In regards to the design of the church, he explained that the exterior design flows from the interior requirements imposed upon them by the Catholic Church, and explained some of those requirements. Therefore, he felt that it would be inappropriate for people without a lot of background in the Catholic Church to give comments on the design of the church.

Sean Armstrong stated that supporters of the church take this project very seriously, and hoped the Planning Commissioners could separate the hyperbole from the facts when making their decision. In discussing parking, he noted that currently there are six services on the weekends with an attendance of approximately 250 to 400 people in attendance per mass, with a seating capacity of approximately 600. The new church

will have a capacity of 870, which means they will be meeting the minimum in parking requirements for more than double the average service attendance. He acknowledged that on Christmas and Easter there are overflow crowds, just as at any other religious institution. He noted, however, that it is up to the City to regulate the parking on the public streets and not the Church. He explained that the church will practice being a good neighbor and encourage all the parishioners to park in the church parking lots and not on the neighborhood streets.

Desmond Armstrong stated that he is looking at this as a human being who has raised children and now has grandchildren that are being raised and attend St. John Fisher Church. He stated that the church has always been open in communicating with the residents on what they have had planned for the site. He asked that the Planning Commission approve the request to build the new church.

Joe McGuinness stated that he has had two children graduate from St. John Fisher school and currently has one more child in the school. He felt that the proposed additions at St. John Fisher are desperately needed, as the children are playing on a very limited play area during school and playing on asphalt. This project would give the children a gym to play in, the area would be substantially increased, and the quality of the play facilities would be greatly enhanced. With regards to the steeple, bells, and design he asked that the Planning Commission give discretion, noting that these things truly are an expression of religion. With respect to the opposition, he felt that to a large part the opposition is fear driven. He noted that the present plan has resulted in quite a bit of compromise in that respect. He stated that currently during the school day there is the use of bells and loud speakers, and there have been no complaints. He felt that bells, like stained glass windows, are traditional recognized symbols of religious expression. In terms of parking, he felt that the Planning Commission should look at parking and determine if it is adequate, as he felt confident that it is more than adequate.

Donna Hulbert stated her main concerns are parking of construction equipment during construction and delivery of construction materials. She felt that parking construction equipment on the street will constitute a danger and that it should not be allowed. She stated that there are a lot of people who have invested their hard earned money into their homes, and a lot of consideration should be given to property values that are being affected. Finally, she suggested that the bell ringing be limited to the times that the parishioners are at the church and can enjoy the bells. The bells do not need to ring seven days a week.

Lori Daniels stated he is 100 percent in favor of the design and that the architect has done a good job with the revised plan and taking the concerns of the neighbors into consideration.

Rhonda Long commented that the St. John Fisher parishioners have been planning this project for several years without ever having the intention of having a dialogue with the surrounding neighborhoods. She pointed out that parishioners who do not live in the

neighborhood will not have to hear the ringing of the bells seven days of the week. Further parishioners will not have to listen to the traffic noises along Crenshaw Blvd. that will be associated with this new church. She asked that the church not use the children as a reason to build such a tall, imposing structure at the corner of Crest Road and Crenshaw Blvd. She asked the parishes to take into consideration what the neighbors will have to live with 365 days a year, and asked that a sanctuary without a bell tower be built further towards the middle of the property, and to eliminate the stairs down to Crenshaw Blvd.

Lenee Bilski was very disappointed to find many false statements in letters submitted to the Planning Commission as well as the local newspapers from critics regarding the proposed project. She noted that this church has been in existence since the early 1960s at there have been plans to build a permanent church since that time. She also noted that a bell tower was approved in the 1990s but was never built due to lack of adequate funding. She stated that the proposed bell tower will produce occasional musical chimes, stressing that it will be music and not noise. She encouraged the Planning Commission to allow the church to develop their property.

George Abele stated his support of the project and felt that the church has addressed the issues raised at previous meetings from the Planning Commission and the neighbors.

Shelly Hyndman (in rebuttal) stated that the condition regarding the hours the bells can be rung was not requested by the applicant, but was a condition that was placed by staff. She stated a columbarium is not a mausoleum and therefore not a cemetery use, and therefore not restricted. Regarding parking, she explained that she has been designing churches for 25 years and has never provided parking for more than 1 space for every 3 seats in the sanctuary. She stated that she would happy to bring forward other examples citing precedence in the state of California on this subject.

Commissioner Tetreault asked what a columbarium is.

Ms. Hyndman explained it is a place where ashes are enshrined after one is cremated.

Commissioner Ruttenberg asked, hypothetically, if the project were ready to be approved but the Commission felt a little more parking were necessary, what could be done.

Ms. Hyndman explained that after the meetings with the Fire Department and adjustments that have been made to meet their requirements, there is really no more room on the property for more parking.

Commissioner Tetreault asked if the seating in the church will be pew style seating.

Ms. Hyndman answered that it will be pew seating, and added that the seating count takes into account the choir and the priests.

Chairman Perestam noted in a report submitted there is a statement that historical parking counts have been done for years at the site. He asked if that data could be made available to the Planning Commission.

Ms. Hyndman explained that the church administrator has been doing parking counts and could put a presentation together.

Chairman Perestam asked if education classes were being held on the Sunday's these counts were done.

Ms. Hyndman explained that there is data that goes back years, however it is possible for the most current three week period there were no education classes being held.

Chairman Perestam stated that he would like Ms. Hyndman to explore the possibility of using the Mary and Joseph Retreat next to the church for possible overflow parking.

Commissioner Tetreault asked staff if the Planning Commission can base its decision on the possible loss of sun and light caused by the project.

City Attorney Lynch explained that there is no easement for light and air in California, however the Planning Commission can consider in the Conditional Use Permit findings adverse impacts on adjacent properties.

Commissioner Tetreault asked staff if the Planning Commission can base its decision on the potential negative impact this project might have on neighboring property values.

City Attorney Lynch answered that property values cannot be considered. She explained that the Planning Commission should focus on the public health and safety issues.

Commissioner Tetreault asked staff if it has been a past practice by the City to take the required number of parking spaces and begin reducing those numbers based on the percentage of use or time of use.

Director Rojas explained that the practice of assessing shared parking versus total required parking is very typical for non-residential projects that have different components that operate at different days and times. He noted that this is common in shopping centers, where there are different uses at different times. He stated this has also been done at Terranea and Golden Cove. He explained that staff asks traffic consultants to come up with a parking formula for different days and times based on certain assumptions of use and operation, which is then given to the City traffic consultant which reviews these assumptions.

Commissioner Tetreault then asked if, based on the information that the applicant's traffic consultants as well as the City's consultant have determined that there is

adequate parking, the Planning Commission condition the project to provide more parking spaces.

Director Rojas explained that the study is based on certain assumptions, and if there is evidence that has been introduced into the record that puts doubt on those assumptions, the Planning Commission can add additional parking requirements. He noted that there is then the problem of where that additional parking will be located.

Commissioner Tetreault asked staff to clarify the use of the columbarium.

Director Rojas answered that the Code does not have a definition of "cemetery", noting that a columbarium is an area where ashes are kept. He stated that even if the Planning Commission felt that this use qualifies as a cemetery, a cemetery is allowed in an Institutional zone.

Commissioner Ruttenberg asked if there are certain considerations that are limited to adjacent properties, as many of the speakers do not have property that is adjacent to the subject property.

City Attorney Lynch answered the Code states adjacent properties, which it defines as parcels that are abutting or separated by a street or alley.

With regard to parking, Commissioner Ruttenberg noted that statements were made during the public hearing that the project is compliant with the Code. He asked if it would only be code compliant if 657 spaces were provided, and anything less is up to the applicant to convince the Planning Commission they need fewer spaces, and it will be at the Planning Commission's discretion to determine if that is adequate.

City Attorney Lynch agreed.

Commissioner Tetreault felt that when it comes to religious organizations and their plans for their sanctuaries, a certain level of discretion should be granted in their decision to do so, as it is a religious organization practicing their religious expression. He asked the City Attorney if that is a reasonable position to take, or should he treat the church as any other secular institution.

City Attorney Lynch explained that under the Religious Land Use and Institutionalized Persons Act, cities cannot impose a substantial burden on the exercise of religious rights. She felt that the Planning Commission would have more latitude over governing the design of a pharmacy or supermarket than the design of a church. However, there is still the issue of whether it is substantially burdening. As an example, she stated that requiring a redesign on a part of the property is probably not a substantial burden, however to completely eliminate certain components that might disable the church from doing certain types of services, that might be a substantial burden. She felt the Commission needs to look at church uses and religious uses more carefully.

Commissioner Tetreault stated that one of the major design elements being proposed is a bell tower and steeple, noting that there is not a bell tower or steeple currently at the site nor has there been one in the past. He asked if the City can tell the church that they cannot have a bell tower or steeple.

City Attorney Lynch answered that if the church can exercise their religion without a bell tower and steeple today, then the City can probably tell them they cannot have the bell tower or steeple. She felt a safer decision would be to do what has already been suggested, which is to regulate the height. She felt the bells pose an interesting question, in that the church has not had bells in the past and they have been able to conduct religious services without having any bells. Therefore, she felt that not allowing the bells would not pose a substantial burden on the ability to provide the religious aspect of their worship.

Commissioner Ruttenberg stated that it has been suggested that the church look at building the structure more towards the middle of the property, however it has also been noted that to do so would be much more expensive for the church. He asked if that would become a substantial burden if the church were to say they cannot financially afford to build the church at an alternate location on the property.

City Attorney Lynch explained that if the Planning Commission were to say you cannot build a church on the property, that would be a substantial burden. She stated that usually the substantial burden type of analysis happens when projects are being denied outright, and not when the City asks that a project is redesigned.

Chairman Perestam asked if a private written agreement with a neighboring property to accommodate additional parking would be adequate when addressing the City's parking concerns.

City Attorney Lynch answered that if the church came in with a private agreement demonstrating that they can use another facility for over-flow parking, that would be sufficient.

Director Rojas added that other churches in the City have a condition of approval that relate to private parking agreements with adjoining properties.

Chairman Perestam questioned what restrictions can be put on the church if there is overflow at the church for a particular use or uses at the church.

City Attorney Lynch answered that a condition can be added that if the church will be using additional rooms during a specific time of day that they have to show the City that there is additional parking available for this use.

Associate Planner Mikhail added that the parking analysis that was prepared accounted for the assembly use of the sanctuary at full capacity on Sundays. Overflow into any of the other uses, such as Barrett Hall or the gymnasium, or other assembly uses were not

included in the analysis and the Planning Commission could restrict those uses at those times.

In looking at the plans Commissioner Gerstner understood how the church developed the plan they did, however he felt there are other locations on the property for the sanctuary. He felt that the proposed sanctuary in the proposed location speaks to the neighbors and those driving by, however from a land use point of view it is not the highest and best location for that function. He felt that in looking at the plan, it lacks a bit of structure in connection of spaces with each other. He felt that a lot of the spaces seem disjointed uses and more as a remodel rather than a great opportunity to overlay a grander master plan and create something that really divides the uses and provides some structure between the sanctuary and the school and the parking. He stated that he can see in the plans where the architect started problem solving and where the Fire Department had a very definite influence. With that being said, he felt that there are other places on the property that are equally as good or possibly better for the sanctuary. Regarding parking, he suggested that the study be expanded to show the Planning Commissioners which spaces were counted during which peak hours so that the Commissioners can better understand the methodology used. He did not think that parking could be designed for Easter or Christmas. He felt that solar ramifications to adjacent properties is important to consider, as it can be tied into setbacks. He would like to see a sun study done. Regarding the bells, he noted that most people who attend service at the church drive to the church and the only time during the day that they will hear the bells is during the service they are attending. The neighbors will hear the bells after every service during the day. He stated that the church is set in a residential neighborhood, and felt it was asking too much of the neighbors to have the bells. However, he would agree that the bells might be rung on special occasions, such as after the Sunday noon services or on certain holidays.

Commissioner Tetreault stated that it is very difficult for him to sit at this meeting and say the church is not providing enough parking, as he really has no idea what is needed. However, there is currently more parking now than there will be when the project is complete and the facility will be larger than it is currently. With that alone, it makes him uncomfortable to say there will be adequate parking. Regarding the bells, he noted that this is a church and churches have steeples, crosses, and bells. He explained that we live in a community, and the church is part of the community. He also stated that there are noises and sounds associated with a neighborhood; such as lawnmowers, leaf blowers, and children playing. This could also include the bells of the local church. He stated that there has to be some give and take with everyone involved in this situation, and suggested looking into more limitations on the number of times the bells can be rung. He felt it is appropriate for a church to have bells, a steeple, and a cross, and it is appropriate for the building to look like a church that can be seen by the community. However, this is a difficult situation as the church has rights as well as the neighbors have rights, and he has not yet made a decision on this application.

Commissioner Ruttenberg felt that Commissioner Tetreault summed things up very well, and was looking forward to hearing more information at the next public hearing.

Vice Chairman Lewis stated that he is still undecided in this case, however he too agreed with Commissioner Tetreault's comments. He added that just because the church has the rights to do certain things, doesn't mean that they should. He strongly suggested that the neighborhood groups and the church representatives meet and work together towards a compromise. Regarding the bells, he suggested that at the next meeting the church representatives play for the Planning Commission a recording of what these proposed bells will sound like so that everyone has an idea of what is being discussed.

Commissioner Ruttenberg moved to continue the public hearing to September 23, 2008, seconded by Commissioner Tetreault. Approved, (6-0).

3. **Vesting Tentative Tract Map No. 68796, General Plan Amendment, Zone Change, Conditional Use Permit, Grading Permit, Density Bonus & Environmental Assessment (Case Nos. SUB2007-00003 & ZON2007-00072): 28220 Highridge Road**

Commissioner Gerstner stated that since he was absent from the meeting when this item was last heard, he had reviewed the tape of the meeting and felt that he was able to participate and vote on this project.

Associate Planner Fox presented the staff report, giving a brief history of the project and explaining the modifications made to the project since the last hearing. He explained the density bonus being requested by the applicant, and that the City Attorney and staff believe the density bonus, under State law, applies after a developer has already satisfied the City's five-percent set-aside requirement. Therefore, staff and the City Attorney feel that in order to qualify for a density bonus the applicant will need to provide three units, or ten percent, to be set aside for very-low-income households. He explained that the developer believes the State law rules, and only requires five percent to be set aside. He explained that the City has offered to accept the proposed two units for very-low-income housing with the payment of an in-lieu fee for the third unit. Staff felt that this a reasonable position, as it would uphold staff's position that three units are required but does not obligate the applicant to provide the third unit and the design and scope of the project would not have to be modified. Therefore, staff is recommending the Planning Commission recommend to the City Council that the City approve the density bonus and accept the dedication of two units for very-low-income housing with the in-lieu fee for the third. Staff was also recommending that public testimony be heard and if the Planning Commission feels all concerns have been adequately addressed that the public hearing be closed and the item continued to August 12th to adopt the appropriate Resolutions.

Commissioner Ruttenberg noted that the applicant has requested deferral of payment of the in-lieu fee until after the twenty-fifth unit is sold, and questioned what would happen if the applicant decides to lease a portion of the units rather than sell them.